



**AGENDA**  
**Town of Nags Head Planning Board**  
**Nags Head Municipal Complex Board Room**  
**Tuesday, December 13<sup>th</sup>, 2016; 2:30 pm**

A. **Call To Order**

B. **Approval of Agenda**

C. **Public Comment/Audience Response**

D. **Approval of Minutes** – November 15, 2016

E. **Action Items**

1. Consideration of a Conditional Use/Vested Right/Site Plan Request submitted by Outer Banks Hospital, Inc. for the construction of a detached accessory medical office and maintenance/storage building. The property is zoned SPD-C and is located at 4800 S. Croatan Highway, NC.
2. Discussion and request initiation of a zoning ordinance text amendment to Town Code Section 48-442(e), Conditional Uses within the SED-80, Special Environmental District, as it relates to dimensional requirements for municipally owned government facilities.

F. **Report on Board of Commissioners Actions**

1. Consideration of Public Hearing to consider zoning ordinance to require any commercial structure within the C-2, General Commercial Zoning District with a total habitable area that is 15,000 square feet or greater to obtain site plan approval via the Conditional Use process – Tabled until the January 4, 2017 regularly scheduled Board of Commissioners meeting.

G. **Town Updates – as requested**

1. Reminder - Joint workshop with Planning Board, Board of Commissioners and Advisory Committee scheduled for January 12<sup>th</sup>, 2017 at 9am.

H. **Discussion Items**

1. Discussion of zoning ordinance text amendment to require any commercial structure within the C-2, General Commercial Zoning District with a total habitable area that is 15,000 square feet or greater to obtain site plan approval via the Conditional Use process.
2. Continued discussion of zoning ordinance text amendmetns establishing a table listing of permitted and prohibited uses within the Town.

I. **Planning Board Members' Agenda**

J. **Planning Board Chairman's Agenda**

K. **Adjournment**

**Town of Nags Head  
Planning Board  
November 15, 2016**

The Planning Board of the Town of Nags Head met in regular session on Tuesday, November 15, 2016 in the Board Room at the Nags Head Municipal Complex.

Chairman Mark Cornwell called the meeting to order at 2:30 p.m. as a quorum was present.

***Members Present***

Mark Cornwell, Ben Reilly, Clyde Futrell, Jim Troutman, Pogie Worsley

***Members Absent***

Kate Murray, Mike Siers

***Others Present***

Andy Garman, Kelly Wyatt, Lily Nieberding

***Approval of Agenda***

Ben Reilly moved to approve the agenda as presented. Jim Troutman seconded the motion and it passed by unanimous vote.

***Public Comment/Audience Response***

None

***Approval of Minutes***

There being no changes to the minutes, Ben Reilly moved that the minutes be approved as submitted. Jim Troutman seconded the motion and it passed by unanimous vote.

***Action Items***

*Consideration of zoning ordinance text amendment to require any commercial structure within the C-2, General Commercial Zoning District with a total habitable area that is 15,000 square feet or greater to obtain site plan approval, via the Conditional Use process.*

At its September 29, 2016 retreat, the Board of Commissioners requested that the Planning Board and Planning Staff review a zoning ordinance amendment which would require new commercial structures with an area of 15,000 square feet or greater within the Town's C-2 General Commercial Zoning District be approved via the Conditional Use review process.

Currently, there are various commercial uses allowed in the C-2, General Commercial Zoning District that are permitted by right, and therefore approved simply through the site plan review process. The site plan review process does not provide a mechanism for the Planning Board and governing body to

place site specific conditions upon a development based on the circumstances of the property and surrounding land uses.

Larger buildings, by their nature, tend to generate more intense uses of property which can create land use and neighborhood compatibility issues as well as greater community impacts if not carefully planned. The conditional use permit process is designed to allow the community to consider a broad range of land use issues and place conditions on development projects to ensure they meet community goals. The proposed amendment would provide the Planning Board and Board of Commissioners flexibility and discretion when reviewing large commercial projects.

Staff introduced the proposed amendment to the Planning Board at their October 2016 meeting. At that time the Planning Board expressed concern that some of the language might be too subjective and asked Staff to make several changes.

Deputy Planning Director Kelly Wyatt presented the revised amendment and reviewed the changes with the Board. Based on comments heard from the Planning Board, Staff's revisions include: changing total ground floor area to total habitable area; replacing the word conditions with findings; and removing some of the vague or subjective language from each of the findings.

Mr. Reilly asked for clarification related to finding a: compatibility of proposed use with the existing land uses; what would happen if one commercial use replaced another.

Ms. Wyatt confirmed that it is not about changing a use from commercial to residential but rather giving consideration to the surrounding uses when reviewing a proposed site plan to make sure it meets design and site criteria.

Mr. Garman further explained that if a commercial use is being proposed where there is substantial residential uses, the applicant may need to create additional buffer areas or review decisions on where to place dumpsters/loading areas, etc. in order to create additional separation and mitigate noise. The language speaks not just to the use but the arrangement of the site.

Chairman Cornwell agreed noting that this issue came up when the Board was discussing the car wash amendment and stated that Mr. Reilly and Ms. Murray had expressed concern that, because the car wash would be so close to a residential area, a larger buffer area was needed.

Chairman Cornwell reminded the Board that when the Board of Commissioners requests action by the Planning Board on an issue, the Planning Board has 30 days to respond. If after the 30 days the Planning Board has not responded, the BOC does not need a recommendation from the Planning Board to proceed. In this case the 30 days are up so the Board would need to vote on the proposed text amendment today. Chairman invited members of the audience to speak on the issue but asked that they confine their remarks as to why the Planning Board should vote For or Against recommending approval of the text amendment.

First to speak was property/restaurant owner Mike Kelly. Mr. Kelly does not feel that the subjectivity had been removed from the language and believes that going from total ground floor area to total habitable area makes the ordinance more restrictive, not less. Mr. Kelly noted that there are commercial properties that have been around for longer than residential areas and that the Town has done a good job in regulating commercial development without the need for this ordinance. Mr. Kelly would like examples of commercial properties that were not developed to Town standards. Mr. Kelly is concerned because he has a commercial property for sale that may be affected by this proposed change.

Next to speak was Bob Oakes, Nags Head property/business owner. Mr. Oakes does not believe the proposed ordinance is needed; it is duplication as there are other Town ordinances in place that address these same issues. Mr. Oakes urged the Board to vote against the proposed ordinance as it makes things more difficult. When someone is trying to develop something they want an objective set of rules. While he understands the Board wants some discretion, Mr. Oakes felt that this ordinance gives the Commissioners the ability to add extraneous conditions.

Willo Kelly with the Outer Banks Homebuilders Association/Association of Realtors was last to speak. Mrs. Kelly stated that at a recent meeting, the Association had discussed the proposed ordinance change with Deputy Town Manager Andy Garman prior to a Floodplain Map Discussion. The surveyors and engineers in the group expressed concern with the conditional use permit process, noting that they could invest money and time on a project only to be told maybe. With the permitted use process they know what is expected and what they need to do. Mrs. Kelly stated that the proposed ordinance is subjective, for example with finding e: "intense activity" means different things to different people. Mrs. Kelly stated that the Homebuilders feel that zoning is political, do not agree with the proposed ordinance and asked the Board to recommend denial.

Mr. Worsley inquired if the Town had any uses that were not conditional use. Ms. Wyatt stated that under Office, Retail and Services for example there are upward of 20 uses that are permitted rather than conditional.

Mr. Worsley stated that he understands the need for a conditional use process for certain things but as a builder he likes having everything spelled out on paper and knowing what is and what is not allowed before spending thousands of dollars.

For the purpose of Board discussion, Chairman Cornwell moved to recommend approval of the proposed ordinance as presented. The motion failed for lack of second.

Chairman Cornwell then moved to recommend denial of the proposed ordinance as presented. Jim Troutman seconded the motion.

Chairman Cornwell asked the Board to reflect on what the conditional use process provides the Planning Board, Board of Commissioners and the community via the public hearing process. Chair Cornwell used the carwash as an example, and noted how many changes the Planning Board was able to make because of the conditional use process. Another example is the ABC Store which is the first visible sign that someone has entered Nags Head. The Planning Board was able to make sure that it reflected the proper image.

Chair Cornwell noted the he and probably the other members joined the Board so that they could have a voice in the future of Nags Head. The Conditional Use process gives them that capability. They are not a rubber stamp board. They may not always be in sync with the Commissioners, but without the conditional use process they would have less influence. The findings may be subjective but they give the Board flexibility. Chair Cornwell reminded his fellow Board members that they are only making a recommendation to the BOC. The Commissioners have the final say as to whether the ordinance is adopted or not.

There being no further discussion, Chairman Cornwell called for a vote and the motion passed 4 to 1 to recommend denial of the proposed ordinance with Chair Cornwell casting the Nay vote.

## **Report on Board of Commissioners Actions**

Deputy Planning Director Kelly Wyatt:

The text amendments to permit "cottage courts" as an allowable use was adopted as presented with one modification to subsection (m): Cottage courts shall operate under a single, unified management operation which arranges for reservations and attends to guest needs".

The zoning ordinance text amendment from the Outer Banks Hospital to establishment requirements for accessory detached medical office on the same grounds as the principal hospital use was adopted as presented.

## **Town Updates**

### Focus Nags Head

Principal Planner Holly White updated Board. Focus is still progressing forward and currently they are reviewing Section 2 – Character Areas with the Advisory Committee. Ms. White stated she had forwarded Section 3 to the Planning Board for their review and asked that they send her any questions or comments. Ms. White will try to do a presentation/overview at the Planning Board's December meeting prior to the joint workshop with Planning Board, Board of Commissioners and Advisory Committee which is scheduled for January 12<sup>th</sup>, 2017 at 9am. Ms. White reminded the Board that the policy that is being created through Focus Nags Head, the second half is a UDO project. The Board's participation gives them a chance to have influence on code changes ahead of any specific case or site plan or permit.

### Dowdy Park

Deputy Town Manager Andy Garman stated that Phase I is close to being finished, it will be done within a month. The construction of the Pavilion is almost completed and the playground equipment has been mostly installed, Mr. Garman stated that things are moving quickly and that they are looking at a large grand opening event on May 13<sup>th</sup> in partnership with the Dare County Arts Council.

## **Discussion Item**

### Continued discussion of zoning ordinance text amendments establishing a table listing of permitted and prohibited uses within the Town.

Continuing the conversation on the prohibited uses chart Ms. Wyatt noted that Staff had made several revisions to the previously viewed document including a framework for how the chart is going to work, the addition of numerous new use categories and providing an introduction to how the chart is intended to be read and administered. Ms. Wyatt reminded the Board that this is a work in progress and updates will continue to be provided.

Ms. Wyatt confirmed for Mr. Reilly that there are currently two smoke and vapor shops in the Town and the use will certainly be discussed once the chart is complete. Ms. Wyatt also explained that the reason that there are two alcohol & drug treatment service categories is that one is outpatient and the other would be in-patient.

***Planning Board Members' Agenda***

None

***Planning Board Chairman's Agenda***

Chairman Cornwell reminded the Board that all five BOC members read the minutes. If a Planning Board member is opposed to something they need to state the reasons for their vote; they owe it to the public and the Commissioners to state why they voted a certain way.

***Adjournment***

There being no further business to discuss, the meeting was adjourned at 3:24 PM.

Respectfully submitted,

Lily Campos Nieberding

## STAFF REPORT

---

To: Planning Board

From: Kelly Wyatt, Deputy Planning Director  
Andy Garman, Deputy Town Manager

Application: Vested Right/CUP/Site Plan Amendment      Date: December 13, 2016

### GENERAL INFORMATION

---

Applicant: Outer Banks Hospital, Inc.

Application Request: Vested Right/Conditional Use/Site Plan Amendment Request.

Purpose: Construct a 3,871 square foot detached medical office in the northeast corner of the lot and a 1,326 square foot accessory maintenance building in the rear of the property.

Property Location: 4800 S. Croatan Highway, Nags Head.

Existing Land Use: Hospital.

Zoning Classification of Property: Village SPD-C, SF-4 Single Family Attached.

Zoning Classification of Surrounding Properties: Properties to the north are zoned R-2, Medium Density Residential and developed residentially (Old Nags Head Cove). Properties to the west are zoned SPD-C Recreation (Golf Course) and SF-4, Single Family Attached (Linkside). Properties to the south are zoned Village C-1, Commercial and developed commercially (Outer Banks Mall). Properties to the east and directly across US Hwy 158 are zoned Village SF-2, Single Family Detached and are developed residentially (Seven Sisters).

Flood Hazard Zone of Property: This property is located within X Flood Zone.

Land Use Plan Map/Policies: Land Use Plan classification for this property is Institutional. This proposal is consistent with this land use classification and additionally is consistent with stated land use policies.

### BACKGROUND INFORMATION

---

Prior to submission of the Vested Right/Conditional Use/Site Plan Request the applicant, Outer Banks Hospital, Inc. requested a text amendment to revise the conditions of Town Code Section 48-866(c)(2) to add "detached medical office" as an allowable accessory use on a hospital site with a setback of fifty feet (50') from any residentially zoned or developed property. The Board of Commissioners held a Public Hearing and adopted this text amendment at its November 2, 2016 meeting.

## **SPECIFIC INFORMATION**

---

Applicable Zoning Regulations: Town Code of Ordinances, Chapter 48, Article XXI, Section 48-866(c)(2), Hospitals as a Conditional Use.

- Use Regulations: "Detached Medical Office" as an accessory use to Hospital is a conditional use within the Village at Nags Head, SF-4 Attached Single Family Dwelling District. The proposed maintenance/storage building is accessory and incidental to the primary Hospital use. The proposal is compliant with these use standards.
- Lot Coverage- Allowable lot coverage for this district is 75% of the total lot area. The existing lot coverage is at 59.95%, with the necessary demolition of some impervious areas combined with the proposed new construction lot coverage would be reduced to 59.0% and would therefore be compliant.
- Building Height- The maximum allowable height within the Town is 35 ft. however total height may be increased to 42 ft. with the use of an 8:12 roof pitch or greater. The proposed height of the detached medical office is approximately 25 feet in height and the maintenance building is approximately 16 feet in height therefore height is compliant.
- Architecture Design Standards: This property is located within the Village Special Planned Development-Community and as such must meet the architectural design requirements set forth by the Village Architectural Control Committee. The applicant has filed the appropriate application and elevation drawings with the Village Architectural Control Committee for review. No building permit will be issued without prior Village Architectural Approval.
- Parking: Required parking for this project is being provided in compliance with the Hospital standard of two parking spaces per bed and one parking space per two employees along with the "Medical Office" standard of one parking space for every 300 square feet of gross floor area or portion thereof devoted to medical use, plus one for each employee and doctor. Currently 381 parking spaces exist onsite, 36 of those spaces will be removed to accommodate the proposed development leaving 345 parking spaces onsite. With combined Hospital and Medical Office uses 308 parking spaces are required therefore parking is compliant.
- Buffering/Landscaping: The scope of work proposed will not impact the existing, compliant landscape buffer areas however; if during construction any plantings are compromised they must be replaced and supplemented appropriately.
- Lighting: The applicant has indicated that couple of existing light poles will be relocated however the height of the pole and the fixture itself will not change. Staff will conduct a light audit prior to issuance of Final Zoning to ensure compliance.
- Signage: Proposed signage has not been submitted at this time however any proposed wall signage shall be reviewed and approved prior to issuance of zoning and building permits.

Water and Sewage Disposal: Please see Carolina Water Service, Inc. of North Carolina correspondence dated November 17, 2016 detailing that they are willing and able to provide sanitary sewer utility service to this project.

Stormwater Management: Stormwater to serve the proposed site improvements will continue to be managed by the existing stormwater management facilities. No additional comments provided by the Town Engineer, therefore stormwater remains compliant.

Traffic Circulation: No comments provided by the Town Engineer, proposed traffic circulation is compliant.

Fire: The Fire Department has reviewed and approved the proposed scope of work. Comments provided during Technical Review including demarcation of fire lanes and installation of new fire hydrant has been addressed (memo attached). Project will be required to comply with all applicable NC Fire Prevention Code requirements as part of building permit application review and issuance.

Public Works: Public Works has reviewed and approved the proposed plan as presented.

## **ANALYSIS**

---

Staff finds that the proposed project is consistent with all of the required use and development standards.

## **STAFF RECOMMENDATION**

---

Staff would recommend that this Vested Right/Conditional Use/Site Plan Amendment be approved as presented.

Though the Planning Board is not required to do so, the Board of Commissioners is required to make the following affirmative findings of fact for conditional use applications and staff has determined:

1. The applicant has met the requirements of the Town of Nags Head Zoning Ordinance, Subdivision Ordinance and other applicable ordinances.
2. The use will not materially endanger the public health and safety if located where proposed and developed according to the plan as submitted.
3. The use as proposed will not overburden the fire fighting capabilities and the municipal water supply capacity of the Town.

Attachments: Vested Right/Conditional Use Application, Site Plan, Memorandum dated November 17, 2016 including Utilities Inc. Memorandum dated December 7, 2016.



TOTAL PROPOSED SQUARE FOOTAGE 5,197 x .50 = \$2,598.50 +

CONDITIONAL USE  (\$200.00)  
(Optional) VESTED RIGHT  (\$200.00)  
(Optional) BOTH  (\$300.00)  
= TOTAL FEE DUE \$2,898.50

TOWN OF NAGS HEAD

DATE RECEIVED \_\_\_\_\_

**SITE PLAN REVIEW APPLICATION & CHECKLIST FOR CONDITIONAL USES**

**1. LOCATION AND ZONING INFORMATION**

- A. PROJECT TITLE Outer Banks Hospital – Rehab Building and Maintenance Storage Building
- B. STREET ADDRESS 4800 S. Croatan Hwy.
- C. SUBDIVISION None  
LOT(S) Leasehold BLOCK N/A SECTION N/A
- D. PRESENT ZONING Special Planned Development – Community District SPD-C
- E. PRESENT USE Hospital
- F. EXISTING NONCONFORMITIES None
- G. ABUTTING PROPERTY ZONING SPD-C & R2
- H. ABUTTING PROPERTY USE Commercial & Residential

**2. CERTIFICATION AND STANDING**

- A. As applicant of standing of the above named project, I certify that the information on this checklist and the site plan is complete and accurate.

  
OWNER  AGENT  CONTRACT  
PURCHASER

- B. APPLICANT/DEVELOPER: NAME The Outer Banks Hospital, Inc.  
ADDRESS 4800 S. Croatan Hwy.  
Nags Head, NC 27959  
TELEPHONE 252-449-4500
- C. CONTACT PERSON: NAME Matt Williams  
ADDRESS P.O. Box 6028  
Greenville, NC 27835  
TELEPHONE 252-847-4587

**3. ADJACENT OWNERSHIP INFORMATION (TO BE SHOWN ON SITE PLAN)**

- NAME/ADDRESS (N) See Attached
- NAME/ADDRESS (S) See Attached
- NAME/ADDRESS (E) See Attached
- NAME/ADDRESS (W) See Attached
- (If additional space is needed, please attach separate sheets.)

4. SITE PLAN AND SITE PLAN ATTACHMENT DATA

A. Site plan preparer Quible & Associates, P.C.; Michael W. Strader, Jr., P.E. Phone # (252) 491-8147  
 NC Registered  Engineer  Architect  Surveyor. License # 37813

B. The design for the attached Stormwater Management Plan includes:

- 1.5", 2-hour rainfall; retained on-site. > 5" On-Site Per 2000 Design and Permit
- 4.3", 2-hour rainfall; no important access or health-related impacts. Net reduction in coverage
- 5.0", 2-hour rainfall; no unapproved impacts.

Drainage calculations have been prepared  YES  NO ATTACHED  YES  NO May be provided upon request.

Note: Stormwater Management Plan MUST be approved by the Town Engineer prior to Planning Board review for all listed permitted uses in the zoning ordinance.

C. Sewage disposal approval is being submitted in the form of:

- Attached tentative approval letter dated \_\_\_\_\_
- Attached final permit dated \_\_\_\_\_
- State  County

D. Project involves condominium ownership.

NO  YES, Three copies of condominium documents attached

E. Amount of land-disturbing activity proposed ±26,335 square feet.

A Soil Erosion and Sedimentation Control Plan has been prepared.

NO  YES; (1) Copy attached,

(2) Copy submitted to Dare County Soil Conservation Service, Manteo NC 27954.

F. Coastal Area Management Act (CAMA) permit.  YES  NO

5. INFORMATION TO BE SHOWN ON SITE PLAN

Twelve (12) copies for Planning Board review

A. Property and ownership	YES	COMMENTS
1. Present recorded owner and map book/cabinet reference of the site property.	✓	
2. Current PIN Number.	✓	
3. Site Address.	✓	
4. Owners' names, lot numbers or map book and page reference of all adjacent property owners.	✓	
5. Boundary of the entire parcel by course and distance.	✓	
6. Widths of the existing rights-of-way that abut the site.	✓	
7. Nature or purpose, location and size of existing easements.	✓	
8. At all lot corners, points of tangents and any angle point along a given course of the site, iron pins minimum 3/8-inch diameter or 4x4-inch concrete monuments.	✓	
9. Plan to at least 1"=50' scale, showing north arrow and whether true or magnetic.	✓	
10. Signature and seal of preparer.	✓	
<b>B. Existing features</b>		
1. Streets, curbs, and sidewalks with type and width of pavement.	✓	
2. Topographic features of site and existing grades for any streets, storm drainage system including existing grades at four corners of all structures.	✓	

	YES	COMMENT
3. Flood zone(s) as determined by latest FEMA Flood Insurance Rate Map, with notation, "flood zone subject to change by FEMA."	✓	
4. All underground utilities and facilities including gasoline tanks and existing septic facilities (including tanks and fields).	✓	
5. If the lot is within an ocean hazard Area of Environmental Concern, the location of the first line of stable natural vegetation, the CAMA setback line, and contour lines at 2-foot intervals depicting any dunes located within an oceanfront AEC that are to be disturbed by construction.	N/A	
6. The location of any marsh areas or estuarine waters or US Army Corps of Engineers 404 wetlands within or abutting the lot.	N/A	
7. If the lot is within the small surface water supply watershed AEC (within 1,200 feet from the Fresh Water Pond), the distance between the pond and proposed septic or sewage treatment system.	N/A	
8. Percentage of site to be included in calculation for undisturbed vegetation preservation compliance in Section 48-371.	N/A	
<b>C. Site improvements in accordance with regulations of state of North Carolina, Dare County, and Town of Nags Head</b>		
1. Proposed building type (e.g., concrete or frame), number of floors and dimensions.	✓	
2. Proposed building elevations of all sides of building labeled in accordance with proposed architectural design criteria of Section 48-370.	✓	
3. Total height and number of stories of proposed structure(s). If increased height is being proposed in conjunction with increased setbacks, show increase allowed in tabular form on plan. Note definition of height in Section 48-7 of the Town Code of Ordinances.	✓	
4. Existing and proposed ground elevations at the corners of proposed structure(s).	✓	
5. Sanitary sewer facilities with connection to sewer system or septic tank.	✓	
6. Approximate locations of proposed underground utilities and any necessary easements.	✓	
7. Screened dumpster pad(s) accessible to left-side loaders and sized in accordance with the Town Code of Ordinances.	N/A	
8. Proposed fire hydrants and extensions of water distribution lines in accordance with size and density requirements found in Section 48-363 of the Town Code of Ordinances.	✓	
9. Location and height of proposed free-standing signs. See requirements of Chapter 48-Article VIII of the Town Code of Ordinances.	N/A	
10. Location of all sidewalks, curbs, drives, and parking within the site and proposed finished elevations.	✓	
11. Handicapped parking spaces, walks, ramps, and entrances in accordance with the NC State Building Code. Handicapped parking spaces to be 13 feet wide, marked with a free-standing handicapped sign.	✓	
12. The Vegetative Buffer Yard areas have been identified and the proper buffer yard provision(s) have been identified (i.e. Buffer Yard A, B,C,D,E as outlined in Chapter 48 Article XIII of the Town Code of Ordinances.	✓	
13. Layout of numbered stalls/loading zones in accordance with Chapter 48. Article V of the Town Code of Ordinances.	N/A	

Commercial <input checked="" type="checkbox"/>	Parking Spaces Required	Parking Spaces Shown	Loading Spaces
Residential <input type="checkbox"/>			
Addition is 1 STORIES	Total Req'd = 308		
BUILDING SQUARE FOOTAGE:	Ex. Provided = 381		
PRINCIPAL Addition 3,871	Prop. Removal = 36		
ACCESSORY 1,326	Total Provided = 345	345	0 Proposed
TOTAL 5,197			
# EMPLOYEES No Additional Employees			
# DWELLING/LODGING UNITS N/A			

**D. EXPLANATORY NOTES**

1. Vicinity map.
2. Total square feet of land area to undergo land-disturbing activity.
3. The total required parking spaces versus the total parking spaces provided. Parking spaces to be numbered.
4. Cross-section details of all streets, roads, ditches, and parking lot improvements.
5. The number of dwelling/commercial units. If more than one use is proposed (e.g., large hotel with shops, etc.), show breakdown of units or square footage by building.
6. If additional height above 35 feet is being proposed, the additional height and increased setbacks shall be laid out in tabular form.
7. Total site coverage calculations. (Refer to Zoning Ordinance to calculate lot coverage for lots abutting ocean or sound).
8. Components of the lighting plan (pole location, pole height, type of fixture, wattage, source of illumination, etc.). See Chapter 48 Article IX of the Town Code of Ordinances.
9. A completed architectural points worksheet for commercial structures subject to residential design criteria.

**6. PLAN AND ATTACHMENT PREPARER CERTIFICATION**

- A. I certify that all information for which I am responsible is complete and accurate.

DATE \_\_\_\_\_

SIGNATURE OF ENGINEER  ARCHITECT  SURVEYOR

- B. The following individuals have contributed information or attachments to the plan:

Name	Phone #	Information provided
The East Group, PA	919-784-9330	Architectural Drawings
Quible & Associates, PC	252-491-8147	Surveying / Site Engineering

## Site Specific Development Plan Option - Vested Right for Site Plans

Please be advised that as the owner, or agent for the owner, you have the opportunity to apply for and receive a Site Specific Development Plan that will establish a Vested Right for this project for a period of time not to exceed two (2) years from the date the Board of Commissioners approves the plan. You must secure a building permit for this project within two (2) years of the approval date or your Site Specific Development Plan will expire. If you elect not to apply for a Site Specific Development Plan, you must secure a building permit within six (6) months or else your site plan will expire.

If you choose the Site Specific Development Plan option, please keep in mind the following concerns:

1. Although your project may be classified as a permitted use, by requesting a Site Specific Development Plan your project will be processed as a Conditional Use for which a public hearing will be held, and an additional fee of \$200.00 will be charged to process your application.
2. Once your Site Specific Development Plan has been approved with vested rights status no modifications can be made to the plan.

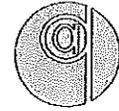
If you wish to take advantage of the Vested Right process please check off the Vested Right box on page one. If you do not then leave the box blank.

**Town of Nags Head: Site Plan Review Application and Checklist for Conditional Uses**

Project Title: Outer Banks Hospital - Rehab Building and Maintenance Storage Building

Item No. 3. - Adjacent Ownership Information (Attachment)

	Property Address	Owner	Owner Address
	4725 S Pompano Ct	Michael L. Morse	332 Eagle Dr, Kill Devil Hills, NC 27948
	4727 S Pompano Ct	James Howard Flynn & Carlene Marie Flynn	1722 Apache St, Kill Devil Hills, NC 27948
	4728 S Pompano Ct	Kirk B Ogden & Susan L. Ogden	10 Naughtright Rd, Long Valley, NJ 07853
	4726 S Pompano Ct	John F Henderson & Laura B Henderson (Trustees)	211 Dogwood Dr, Newport News, VA 23606
	4724 S Pompano Ct	Joyce Sargent (75%) / Bruce Sargent (25%)	126 Bellman St, Scranton, PA 18512 (Primary Owner)
	4731 S Cobia Way	Diane C Childress & Sidney Powers Childress	4731 S Cobia Way, Nags Head, NC 27959
	201 W Sandpiper Ter	Michelle M Warren	P.O. Box 874, Nags Head, NC 27959
North	203 W Sandpiper Ter	Glenn C Brown, Jr. & Cynthia A Brown	2931 Mill Rd, Jamesville, NC 27846
	205 W Sandpiper Ter	Mark D Gendron (34%) / Carl F Gendron (33%) / Michael F Gendron (33%)	359 Brightwood Ave, Hampton, VA 23661 (Primary Owner)
	209 W Sandpiper Ter	Daniel J Jones & Nancy C Jones	613 S Pine St, Richmond, VA 23220
	211 W Sandpiper Ter	Brandon Kern & Kim Kern	104 Flamingo Pl, Yorktown, VA 23692
	301 W Sandpiper Ter	Elizabeth Ruth Hall	301 W Sandpiper Ter, Nags Head, NC 27959
	306 W Sandpiper Ter	Pamela Lehocki C/O Mildred Hill Roughton (34%) / Amy R Etheridge (33%) / Jennifer Lynn Owens (33%)	139 Yaupon Ln, Killy Hawk, NC 27949 (Primary Owner)
	307 W Sandpiper Ter	Curtis A Stout & Pamela L Stout	4128 Sorrento Dr, Chesapeake, VA 23321
	311 W Sandpiper Ter	Richard H Israel & Carol E Preston	12000 Old Bridge Rd, Rockville, MD 20852
	313 W Sandpiper Ter	William L Francis & Andrew P Francis	105 Pebble Beach Ln, Williamsburg, VA 23185
		S Links Dr	N/A
South	0 S Links Dr	Nags Head Village Owners Association Inc Homeowners Assoc	P.O. Box 1807, Nags Head, NC 27959
	4900 S Croatan Hwy	Nags Head Company LLC	P.O. Box 108, Henderson, NC 27536
	5000 S Croatan Hwy	Nags Head Company LLC	P.O. Box 108, Henderson, NC 27536
East	US HWY 158	N/A	N/A
West	5615 S Seachase Dr	Clubcorp Golf of North Carolina LLC C/O Property Tax Dept	P.O. Box 790830, San Antonio, TX 78279



## **Site Plan Narrative**

Outer Banks Hospital – Rehab Building and Maintenance Storage Building  
November 17, 2016

### **Overview**

The Outer Banks Hospital, Inc. (Owner) is proposing to construct a 3,871 sq. ft. rehab building and a 1,326 sq. ft. maintenance storage building at the existing site located at 4800 S. Croatan Highway, Nags Head. The proposed improvements include the removal of parking spaces, modification of the existing storm sewer system, connection to the Town's water system, and installation of a sanitary sewer lift station and associated infrastructure. The Outer Banks Hospital strives to continue to provide the necessary medical services that benefit the Outer Banks Community.

### **Access**

The existing hospital will continue to be accessed from Croatan Highway, US 158. The proposed rehab building will be accessed from the same entrance and the associated parking facilities.

### **Parking**

The number of existing parking spaces prior to the proposed improvements is 381. The proposed project will remove 36 parking spaces. Calculations for the final parking count are based on the current ordinance, which specifies 2 parking spaces per hospital bed plus 1 parking space per 2 hospital employee and 1 parking space per 300 sf of medical office building plus 1 parking space per medical office building employee or doctor.

The hospital has 21 beds and 265 employees for a total hospital parking space requirement of 175 spaces. The existing medical office building has 30,000 sf of gross floor area, 14 employees and 6 doctors for a total medical office building parking requirement of 120 spaces. The proposed medical building will have a gross floor area of 3,871 sq. ft. totaling 13 spaces without any additional employees or doctors. The parking requirements for each building combine for a total parking requirement of 308 spaces. Therefore, the total parking requirement of 308 parking spaces has been satisfied with the existing remaining 345 parking spaces (including 21 ADA accessible parking spaces).

### **Stormwater Management Plan**

Stormwater to serve the proposed site improvements will continue to be managed by the existing stormwater management facility which includes a wet detention basin. The existing stormwater management facility has been designed and installed to provide for approximately 5" of storage, which is in excess of the ten year two hour storm (4.3"). Once stormwater reaches the design level it will begin to overflow into an offsite infiltration basin on the golf course. This infiltration basin provides additional storage. In total, the system retains in excess of the ten year 24 hour storm (7"). The stormwater facility meets the NCDEQ stormwater management requirements and a high density permit application has been obtained from NCDEQ. This permit will be modified to address the currently proposed changes to impervious coverage.

The proposed improvements will provide an overall net reduction in coverage. The proposed rehab building runoff will be collected and tie into the existing 18" HDPE storm pipe located within the existing parking area. The existing drop inlet adjacent to the proposed rehab building will be removed and a new inlet will be installed to collect the flow and redirect it to the existing 18" HDPE using another proposed inlet. This will maintain all collection of stormwater within the permitted system.

The proposed improvements adjacent to the proposed maintenance storage building will continue to sheet flow runoff toward the existing curb inlets along the parking area. No increase in stormwater runoff is anticipated from these proposed improvements as the previous impervious parking is being replaced by an impervious building.

## **Utilities**

The existing water supply is provided by the Town of Nags Head and a 2" water service and associated appurtenances is proposed. This water services will connect to the 12" water main within US 158, including a 2" meter and backflow preventer.

The proposed wastewater effluent from the rehabilitation building will be conveyed via a sanitary sewer lift station to a downstream structure. Existing and proposed effluent from this structure will continue offsite through a gravity system for treatment at the Villages of Nags Head WWTP. Daily design flows have been calculated based on 5 practitioners at 1.5 shifts. Coordination of Sanitary Sewer flows is ongoing with Carolina Water Service, Inc. of North Carolina.

## **Buffers and Site Vegetation**

The existing vegetation surrounding the site is not proposed to be affected. The proposed site continues to meet the buffer and site vegetation requirements set forth by the Ordinance.



Quible & Associates, P.C.

ENGINEERING • ENVIRONMENTAL SCIENCES • PLANNING • SURVEYING  
SINCE 1959

P.O. Drawer 870  
Kitty Hawk, NC 27949  
Phone: 252-491-8147  
Fax: 252-491-8146  
Web: quible.com

December 7, 2016

Ms. Kelly Wyatt  
**Town of Nags Head**  
P.O. Box 99  
Nags Head, NC 27959

Re: OBH Rehab Building and Maintenance Storage Addition –  
Conditional Use Vested Right Site Plan  
4800 S. Croatan Hwy.  
Nags Head, Dare County, NC

Dear Ms. Wyatt;

Thank you for your review comments received during the Technical Review Committee (TRC) meeting held on Thursday, December 1, 2016 for the above referenced project. On behalf of The Outer Banks Hospital, Inc., Quible & Associates, P.C. hereby submit the following documentation for the proposed Rehabilitation Building and Maintenance Storage Addition at Outer Banks Hospital located at 4800 S. Croatan Highway in Nags Head, Dare County, NC (in addition to the previously provided Project Narrative, Transmittal Letter, PWS Documentation, and Utilities Inc Documentation).

Please find enclosed the following items for the referenced project:

- Eight (8) copies of the Site Plan
- Eight (8) copies of Preliminary Architectural Drawings (Exterior Elevation & Floor Plan)

Please acknowledge the following responses to the review comments received during the TRC meeting:

Zoning, Kelly Wyatt:

1. We understand that a foundation survey, as-built survey, and final elevation certificate will be required.
2. It is understood that the Village Architectural Review Committee must approve the exterior elevations.
3. It is understood that if the northern buffer yard D encounters any damage during construction, that supplemental vegetation will be required.
4. It is understood that any new lighting or signage would require associated permitting.
5. Please acknowledge that the proposed transformer location has been added to the plan as discussed.

Steve Szymanski, Building Inspections:

1. It is understood that a special inspections schedule shall be provided at the time of building permit application.

Kevin Zorc, Fire & Rescue:

1. Please acknowledge that Fire Lanes have been denoted on the plans as discussed.
2. Please acknowledge that a new fire hydrant has been proposed within an existing traffic island to provide the required coverage around the new Rehab Building as discussed.

Please review the enclosed documentation and place us on the December 13<sup>th</sup> Planning Board agenda, if appropriate. Please do not hesitate to contact me at 252.491.8147 if you have any questions, comments or requests for additional information.

Sincerely;

**Quible & Associates, P.C.**



Michael W. Strader, Jr., P.E.  
Director of Engineering

encl: As stated

cc: Matt Williams, The Outer Banks Hospital, Inc.  
Michael Brantley, The East Group



**Kevin Zorc**  
Fire Chief

**Shane Hite**  
Deputy Fire Chief

**Chad Motz**  
Ocean Rescue Captain

**John Harris**  
Fire Captain

**Chip Holcomb**  
Fire Captain

## **Nags Head Fire & Rescue**

Post Office Box 99  
Nags Head, North Carolina 27959  
Phone 252.441.5909  
Fax 252.441.8268  
[www.nagsheadnc.gov](http://www.nagsheadnc.gov)

**John Kenny**  
Fire Captain

**Wayne Kidd**  
Fire Captain

**James Moseman**  
Fire Captain

**Phil Wolfe**  
Fire Captain

## **MEMORANDUM**

**To: Kelly Wyatt**

**From: Kevin Zorc, Fire Chief**

**Re: Outer Banks Hospital Rehab – Accessory Building (2)**

**Date: 12/1/2016**

---

**I have completed an initial review of the plans as submitted regarding the proposed Outer Banks Hospital – Accessory Building and have the following comments;**

**Access appears to meet the desired widths- Turn radius of all fire lane areas need to be approved by the Town Engineer. NCFPC 503.2.4**

**The Fire lane shall be accessible within 150” of the facilities and be established as prominently as feasible with markings on the drive surfaces in the parking lot as well as the appropriate signage. NCFPC 503.3**

**Address identification shall meet NCFPC 505.1**

**A fire hydrant shall be located no more than 400’ from the furthest point of the building, measured along an all-weather driving surface. Fire hydrant shall be properly protected from impact by bollards to prevent damage from vehicular traffic.**

**If not fire sprinkler protected, minimum water flow requirement is 1500 GPM. Fire flow of the water system was conducted; 2571 gpm is available.**

**GENERAL NOTES:**  
 OWNER/DEVELOPER: THE OUTER BANKS HOSPITAL, INC.  
 4800 S. CROATAN HWY  
 NAGS HEAD, NC 27959

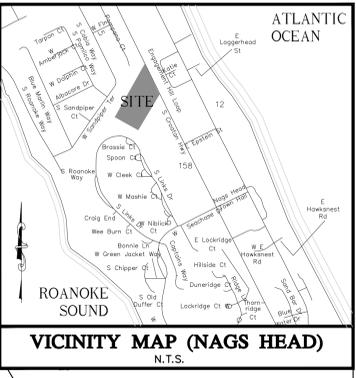
1. ENGINEER: DUBLE & ASSOCIATES, P.C.  
 P.O. DRAWER 870  
 KITTY HAWK, N.C. 27949

2. PROPERTY INFORMATION:  
 PIN: 0801-1304-9010L1  
 RECORDED REFERENCE: P.C. C, SL. 168A  
 4800 S. CROATAN HWY  
 NAGS HEAD, NC 27959

PROPERTY AS SHOWN PER RECORDED REFERENCE. THIS PLAN SHALL NOT BE CONSIDERED A CERTIFIED SURVEY AND SHALL NOT BE USED FOR RECORDATION, SALES OR CONVEYANCES OF LAND.

3. PROPERTY IS LOCATED IN FIRM ZONE X (0.25).  
 COMMUNITY: 375356 PANEL: 0801 SURFTR: J  
 MAP NUMBER 3730080100J DATED 09/20/2006.  
 FIRM ZONES SUBJECT TO CHANGES BY FEMA.

4. PARKING:  
 EXISTING PARKING SPACES: 381 SPACES (17 ADA)  
 36 PROPOSED TO BE REMOVED



**THE EAST GROUP**

Engineering Architecture  
 Surveying Technology

Corporate Office  
 324 Evans Street  
 Greenville, NC 27858  
 Tel 252.756.3746 Fax 252.630.3954  
 www.eastgroup.com

Branch Office  
 4322 Lake Boone Trail, Suite 311  
 Raleigh, NC 27607  
 Tel 919.784.9330 Fax 919.784.9331

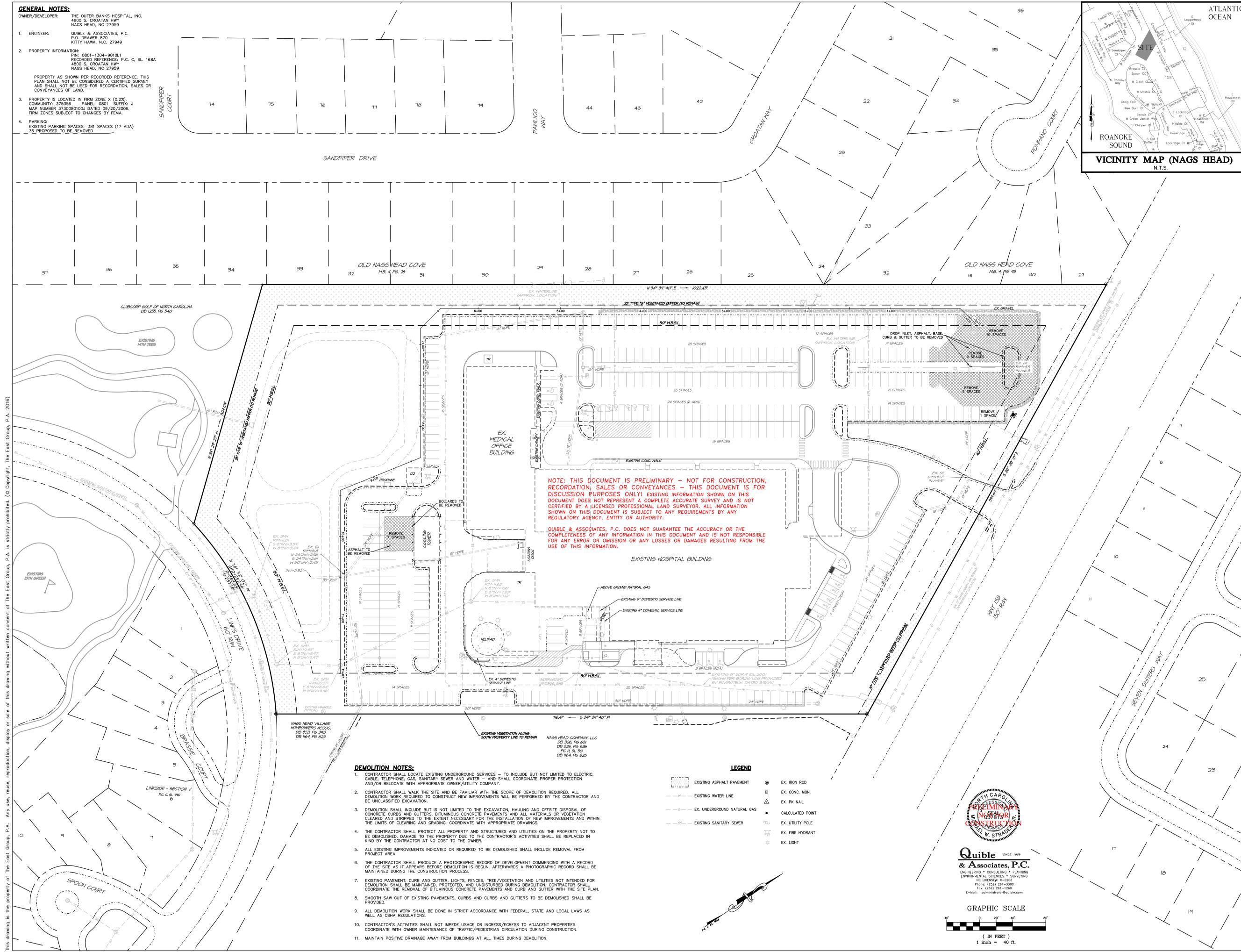
NC Engineering License No. C-0206  
 NC Architectural License No. 50213  
 NC Landscape Architectural License No. C-427

**VIDANT HEALTH™**

**THE OUTER BANKS HOSPITAL**

4800 South Croatan Highway  
 Nags Head, NC 27959  
 252-489-9111

**THE EAST GROUP, P.A.**  
 ARCHITECTURAL PROFESSIONAL SEAL  
 50213  
 GREENVILLE, NC



**NOTE: THIS DOCUMENT IS PRELIMINARY – NOT FOR CONSTRUCTION, RECORDATION, SALES OR CONVEYANCES – THIS DOCUMENT IS FOR DISCUSSION PURPOSES ONLY! EXISTING INFORMATION SHOWN ON THIS DOCUMENT DOES NOT REPRESENT A COMPLETE ACCURATE SURVEY AND IS NOT CERTIFIED BY A LICENSED PROFESSIONAL LAND SURVEYOR. ALL INFORMATION SHOWN ON THIS DOCUMENT IS SUBJECT TO ANY REQUIREMENTS BY ANY REGULATORY AGENCY, ENTITY OR AUTHORITY.**

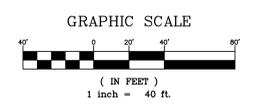
DUBLE & ASSOCIATES, P.C. DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF ANY INFORMATION IN THIS DOCUMENT AND IS NOT RESPONSIBLE FOR ANY ERROR OR OMISSION OR ANY LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.

- DEMOLITION NOTES:**
- CONTRACTOR SHALL LOCATE EXISTING UNDERGROUND SERVICES – TO INCLUDE BUT NOT LIMITED TO ELECTRIC, CABLE, TELEPHONE, GAS, SANITARY SEWER AND WATER – AND SHALL COORDINATE PROPER PROTECTION AND/OR RELOCATE WITH APPROPRIATE OWNER/UTILITY COMPANY.
  - CONTRACTOR SHALL WALK THE SITE AND BE FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND BE UNCLASSIFIED EXCAVATION.
  - DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE CURBS AND GUTTERS, BITUMINOUS CONCRETE PAVEMENTS AND ALL MATERIALS OR VEGETATION CLEARED AND STRIPPED TO THE EXTENT NECESSARY FOR THE INSTALLATION OF NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING. COORDINATE WITH APPROPRIATE DRAWINGS.
  - THE CONTRACTOR SHALL PROTECT ALL PROPERTY AND STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO THE PROPERTY DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO THE OWNER.
  - ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM PROJECT AREA.
  - THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION IS BEGUN. AFTERWARDS A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS.
  - EXISTING PAVEMENT, CURB AND GUTTER, LIGHTS, FENCES, TREE/VEGETATION AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED, AND UNDISTURBED DURING DEMOLITION. CONTRACTOR SHALL COORDINATE THE REMOVAL OF BITUMINOUS CONCRETE PAVEMENTS AND CURB AND GUTTER WITH THE SITE PLAN.
  - SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS TO BE DEMOLISHED SHALL BE PROVIDED.
  - ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS AS WELL AS OSHA REGULATIONS.
  - CONTRACTOR'S ACTIVITIES SHALL NOT IMPEDE USAGE OR INGRESS/EGRESS TO ADJACENT PROPERTIES. COORDINATE WITH OWNER MAINTENANCE OF TRAFFIC/PEDESTRIAN CIRCULATION DURING CONSTRUCTION.
  - MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES DURING DEMOLITION.

- LEGEND**
- EXISTING ASPHALT PAVEMENT
  - EXISTING WATER LINE
  - EX. UNDERGROUND NATURAL GAS
  - EXISTING SANITARY SEWER
  - EX. IRON ROD
  - EX. CONC. MON.
  - EX. PK NAIL
  - CALCULATED POINT
  - EX. UTILITY POLE
  - EX. FIRE HYDRANT
  - EX. LIGHT



**Quible & Associates, P.C.**  
 SINCE 1959  
 ENGINEERING • CONSULTING • PLANNING  
 ENVIRONMENTAL SCIENCES • SURVEYING  
 NC LICENSE# 5-0208  
 Phone: (252) 261-1200  
 Fax: (252) 261-1260  
 E-Mail: administrator@quible.com



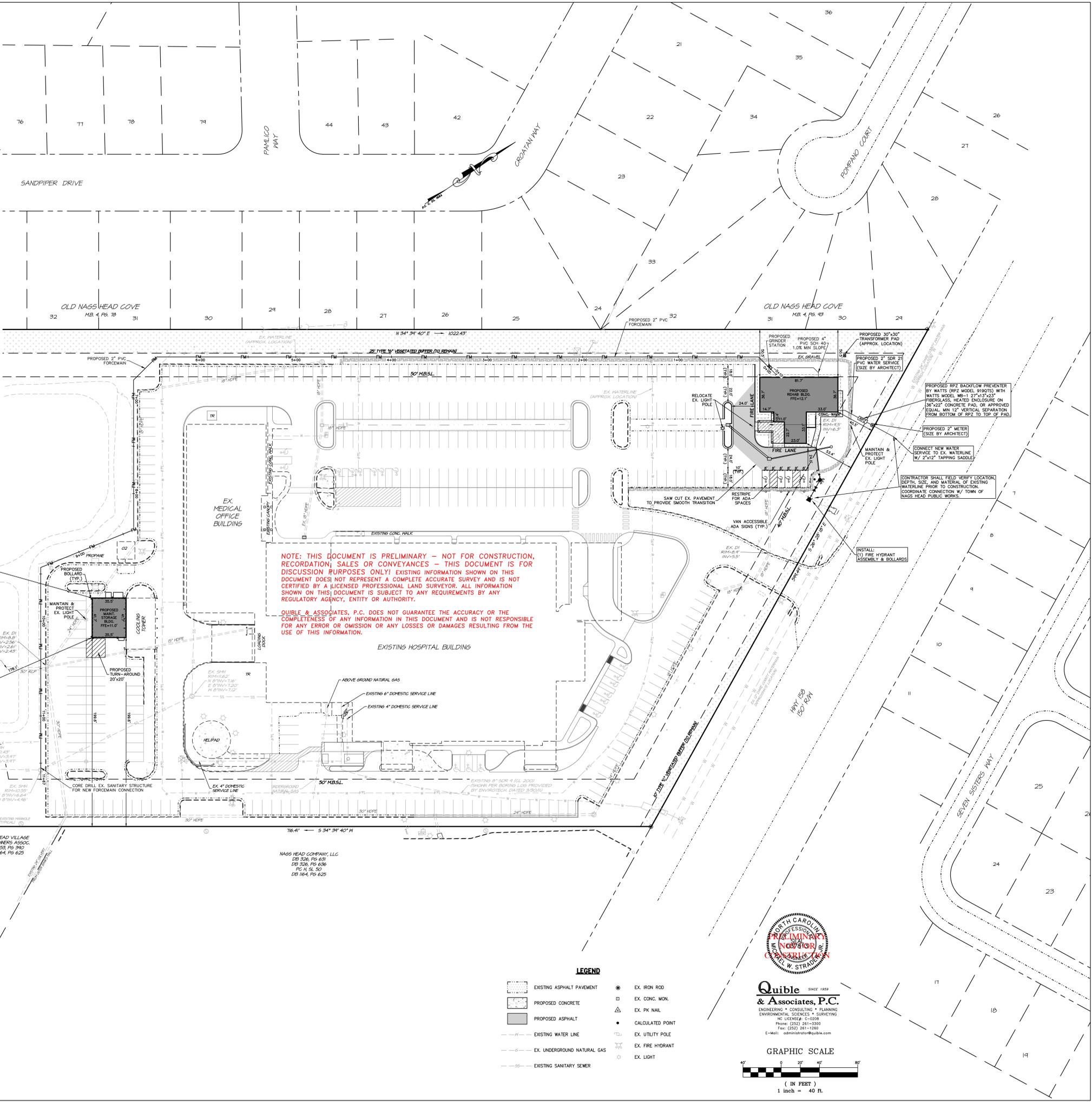
This drawing is the property of The East Group, P.A. Any use, reuse, reproduction, display or sale of this drawing without written consent of The East Group, P.A. is strictly prohibited. (© Copyright, The East Group, P.A. 2016)

REV	DATE	DESCRIPTION	BY	CHK
0	11-17-2016	SUBMITTAL TO TOWN OF NAGS HEAD		
1	12-07-2016	REVISIONS AS PER TOWN TRC COMMENTS		

TEN PROJECT NO: 20150220  
 CLIENT PROJECT NO: 3516  
 PROJECT TITLE: Rehab Building and Maintenance Storage Building  
 DRAWING TITLE: EXISTING CONDITIONS & DEMOLITION PLAN  
 DRAWING NO: C-1

**NOTES:**

- OWNER/DEVELOPER: THE OUTER BANKS HOSPITAL, INC.  
4800 S. CROATAN HWY  
NAGS HEAD, NC 27959
- ENGINEER: QUIBLE & ASSOCIATES, P.C.  
P.O. DRAWER 870  
KITTY HAWK, N.C. 27949
- PROPERTY INFORMATION:  
PIN: 0801-1304-90101  
RECORDED REFERENCE: P.C. SL. 168A  
4800 S. CROATAN HWY  
NAGS HEAD, NC 27959  
PROPERTY AS SHOWN PER RECORDED REFERENCE. THIS PLAN SHALL NOT BE CONSIDERED A CERTIFIED SURVEY AND SHALL NOT BE USED FOR RECORDATION, SALES OR CONVEYANCES OF LAND.
- PROPERTY IS LOCATED IN FIRM ZONE X (0.2%).  
COMMUNITY: 373356 PANEL: 0801 SUPTK: J  
MAP NUMBER 373008010J DATED 09/20/2006.  
FIRM ZONES SUBJECT TO CHANGES BY FEMA.
- PROJECT SCOPE: THIS PLAN PROPOSES A 33,871 SQ.FT. REHAB (PHYSICAL THERAPY) BUILDING AND 1,482 SQ.FT. MAINTENANCE STORAGE BUILDING AND ASSOCIATED SITE IMPROVEMENTS.
- TOPOGRAPHIC AND PORTIONS OF EXISTING FEATURES WERE COLLECTED BY QUIBLE & ASSOCIATES, P.C. ON 1-24-14 & 1-27-14. EXISTING FEATURES SHOWN ON THE ENTIRE SITE IS BASED ON BEST AVAILABLE DATA AND SHOULD BE CONSIDERED APPROXIMATE. THIS IS NOT A CERTIFIED BOUNDARY SURVEY AND SHALL NOT BE USED FOR RECORDATION, LAND CONVEYANCES OR SALES.
- TOTAL LOT AREA: 477,031 SQ.FT. / 10.95 AC
- COVERAGES:  
EXISTING LOT COVERAGE: (BASED ON APPROVED PLANS DATED 6/19/2014)..... 285,971 SQ.FT. (59.95%)  
EX. LOT COVERAGE REMOVED DURING DEMO..... 12,866 SQ.FT.  
PROPOSED NEW COVERAGE..... 8,337 SQ.FT.  
TOTAL LOT COVERAGE (EXISTING - DEMO + PROPOSED)..... 281,442 SQ.FT. (59.0%)
- SETBACKS SHOWN ARE PER TOWN OF NAGS HEAD AND DO NOT REFLECT ANY RESTRICTIVE COVENANTS THAT MAY EXIST.
- PARKING REQUIRED:  
EX. HOSPITAL REQUIREMENT: = 2 SPACES/BED @ 21 BEDS = 42 SPACES  
= 1 SPACE/2 EMPLOYEES @ 265 EMPLOYEES = 133 SPACES  
EX. MEDICAL REQUIREMENT: = 1 SPACE/300 SQ.FT. GROSS FLOOR AREA @ 30,000 SQ.FT. = 100 SPACES  
= 1 SPACE/EMPLOYEE AND DOCTOR @ 14 EMPLOYEES & 6 DOCTORS = 20 SPACES  
NEW MEDICAL REQUIREMENT: = 1 SPACE/300 SQ.FT. GROSS FLOOR AREA @ 38,71 SQ.FT. = 13 SPACES  
= (NO ADDITIONAL EMPLOYEES OR DOCTORS)  
TOTAL PARKING SPACES REQUIRED = 308 SPACES (175 HOSPITAL + 120 MEDICAL + 13 NEW)  
EXISTING PARKING PROVIDED = 381 SPACES PROVIDED (17 ADA SPACES)  
PROPOSED PARKING SPACES REMOVED = 36 SPACES  
TOTAL PROPOSED PARKING SPACES PROVIDED = 345 SPACES (21 ADA SPACES)
- PUMP STATION #1 DESIGN:  
PROPOSED FLOW = 1.5 SHIFTS \* 5 PRACTITIONERS \* 250 GPD/PRACTITIONER = 1,875 GALLONS PER DAY
- ALL DIMENSIONS ARE TO FACE CURB UNLESS OTHERWISE NOTED.
- ALL UTILITIES SERVING THIS SITE WILL BE PLACED UNDERGROUND.
- SITE WILL BE LIGHTED IN ACCORDANCE WITH ARTICLE IX "OUTDOOR LIGHTING" OF THE TOWN OF NAGS HEAD CODE OF ORDINANCES.
- THE ENTIRE SITE WILL BE IN FULL COMPLIANCE WITH ALL APPLICABLE NFPA REGULATIONS PERTAINING TO FIRE PROTECTION INCLUDING BUT NOT LIMITED TO NFPA 30 AS WELL AS VOLUME V OF THE NC STATE BUILDING CODE.
- ALL BUILDING SIGNAGE SHALL BE IN ACCORDANCE WITH ARTICLE VIII SECTION 48-284 OF THE TOWN OF NAGS HEAD CODE OF ORDINANCES.
- NO U.S.A.C.O.E. SECTION 404 JURISDICTIONAL WETLANDS EXIST ON SITE.
- THIS PLAN SHALL COMPLY WITH VOLUME 1C OF THE NC BUILDING CODE.
- THE PROPOSED BUILDING SHALL COMPLY WITH CHAPTER 10 OF THE TOWN OF NAGS HEAD CODE OF ORDINANCES.
- BUILDING CONSTRUCTION TO CONFORM TO 2009 FIRE PREVENTION CODE OR LATEST EDITION.



This drawing is the property of The East Group, P.A. Any use, reuse, reproduction, display or sale of this drawing without written consent of The East Group, P.A. is strictly prohibited. © Copyright, The East Group, P.A. 2016

**THE EAST GROUP**  
 ■ Engineering ■ Architecture  
 ■ Surveying ■ Technology

Corporate Office  
324 Evans Street  
Greenville, NC 27858  
Tel 252.758.3746 Fax 252.630.3954  
www.eastgroup.com

Branch Office  
4322 Lake Boone Trail, Suite 311  
Raleigh, NC 27607  
Tel 919.784.9330 Fax 919.784.9331

NC Engineering License No. C-0206  
 NC Architectural License No. 50213  
 NC Landscape Architectural License No. C-427

**VIDANT HEALTH™**

**THE OUTER BANKS HOSPITAL**  
4800 South Croatan Highway  
Nags Head, NC 27959  
252-489-9111

**THE EAST GROUP, P.A.**  
 LICENSED PROFESSIONAL LAND SURVEYOR  
 GREENVILLE, NC  
 50213

REV	DATE	DESCRIPTION	BY	CHK
0	11-17-2016	SUBMITTAL TO TOWN OF NAGS HEAD		
1	12-07-2016	REVISIONS AS PER TOWN TRC COMMENTS		

TEN PROJECT NO: 20150220  
 CLIENT PROJECT NO: 3516  
 PROJECT TITLE: Rehab Building and Maintenance Storage Building  
 DRAWING TITLE: SITE PLAN  
 DRAWING NO: C-2



**Quible & Associates, P.C.**  
 ENGINEERING • CONSULTING • PLANNING  
 ENVIRONMENTAL SCIENCES • SURVEYING  
 NC LICENSE# 5-0208  
 Phone: (252) 261-1200  
 Fax: (252) 261-1260  
 E-Mail: administrator@quible.com

**NOTES:**

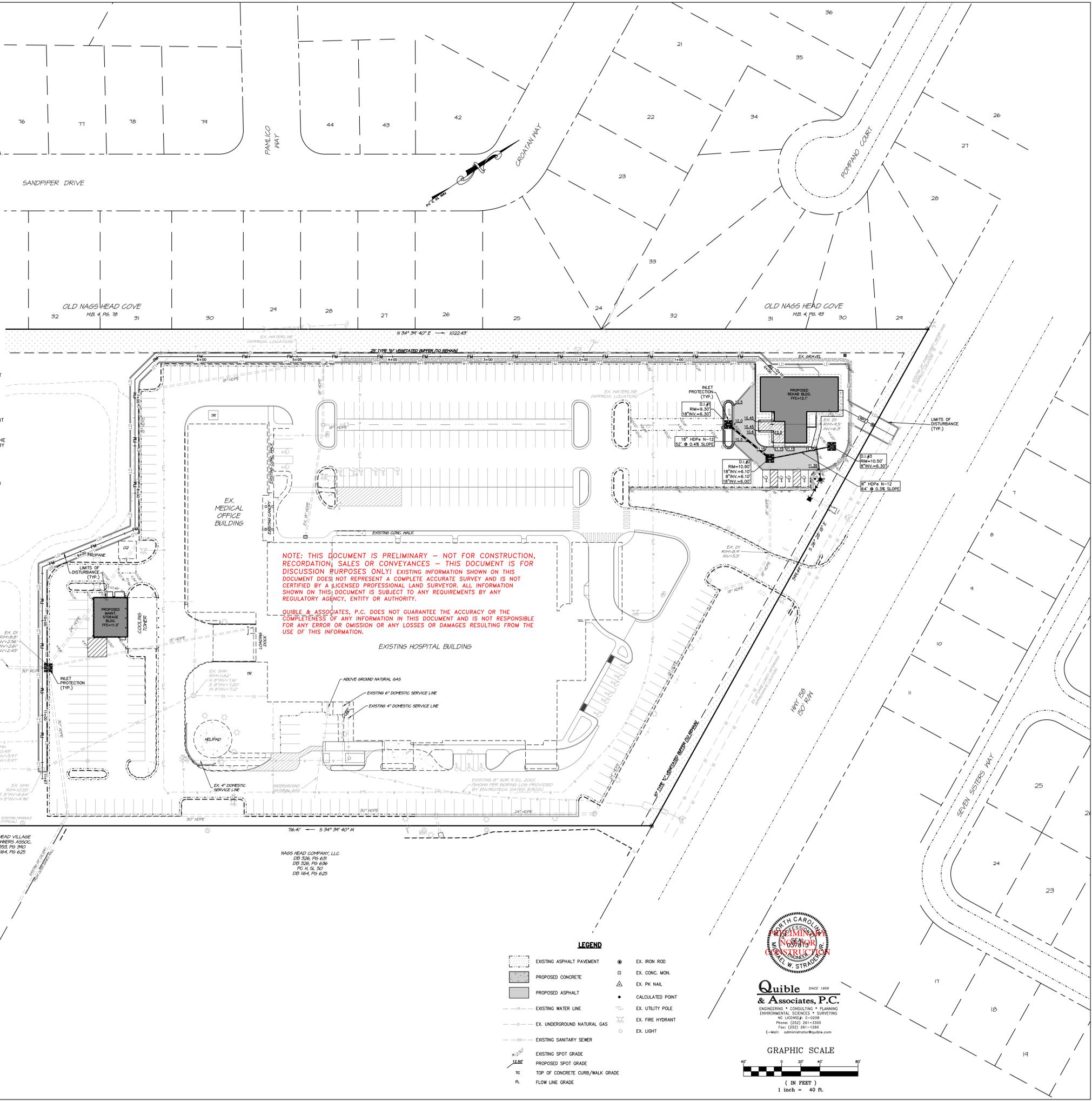
- OWNER/DEVELOPER: THE OUTER BANKS HOSPITAL, INC.  
4800 S. CROATAN HWY  
NAGS HEAD, NC 27959
- ENGINEER: QUILBE & ASSOCIATES, P.C.  
P.O. DRAWER 870  
KITTY HAWK, N.C. 27949
- PROPERTY INFORMATION:  
PIN: 0801-1304-90101  
RECORDED REFERENCE: P.C. C, SL. 168A  
4800 S. CROATAN HWY  
NAGS HEAD, NC 27959  
PROPERTY AS SHOWN PER RECORDED REFERENCE. THIS PLAN SHALL NOT BE CONSIDERED A CERTIFIED SURVEY AND SHALL NOT BE USED FOR RECORDATION, SALES OR CONVEYANCES OF LAND.
- PROPERTY IS LOCATED IN FIRM ZONE X (0.2%)  
COMMUNITY: 373356 PLANS: 0801 SUPTK J  
MAP NUMBER 373008010J DATED 09/20/2006.  
FIRM ZONES SUBJECT TO CHANGES BY FEMA.
- PROJECT SCOPE: THIS PLAN PROPOSES A ±3,871 SQ.FT. REHAB (PHYSICAL THERAPY) BUILDING AND 1,482 SQ.FT. MAINTENANCE STORAGE BUILDING AND ASSOCIATED SITE IMPROVEMENTS.
- TOPOGRAPHIC AND PORTIONS OF EXISTING FEATURES WERE COLLECTED BY QUILBE & ASSOCIATES, P.C. ON 1-24-14 & 1-27-14. EXISTING FEATURES SHOWN ON THE ENTIRE SITE IS BASED ON BEST AVAILABLE DATA AND SHOULD BE CONSIDERED APPROXIMATE. THIS IS NOT A CERTIFIED BOUNDARY SURVEY AND SHALL NOT BE USED FOR RECORDATION, LAND CONVEYANCES OR SALES.
- TOTAL LOT AREA: 477,031 SQ.FT. / 10.95 AC
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY MONUMENTS DURING CONSTRUCTION. DISTURBED OR REMOVED PROPERTY MONUMENTS SHALL BE REPLACED BY A NORTH CAROLINA LICENSED PROFESSIONAL LAND SURVEYOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS AND APPLICABLE TOWN OF NAGS HEAD ORDINANCES.
- THE LOCATION, DIMENSIONS, AND ELEVATION OF EXISTING STRUCTURES, PIPING, AND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DATA IN THE FIELD PRIOR TO CONSTRUCTION TO HIS/HER OWN SATISFACTION. THE CONTRACTOR SHALL PERFORM ANY TEST PIT WORK OR PROVIDE LOCATION SERVICES AS REQUIRED TO AVOID CONFLICTS WITH EXISTING UTILITIES. CONTACT NORTH CAROLINA ONE-CALL AT TELEPHONE NO. 1-800-832-4949, 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION TO HAVE UTILITIES MARKED.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- PROOF ROLL ALL NEW PAVED AREAS. NOTIFY OWNER AND ENGINEER OF ANY UNACCEPTABLE AREAS.
- ALL PROPOSED ELEVATIONS SHOWN ON THIS PLAN REFERENCE NAVD 1988.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN SPOT ELEVATION GRADES AND MAINTAIN POSITIVE DRAINAGE.
- AREAS OF FILL SHALL BE EXCAVATED TO COMPACTED SUBGRADE AND BACKFILLED IN 6" LIFTS.

**SOIL EROSION & SEDIMENTATION CONTROL PLAN NOTES:**

- AREA TO BE DISTURBED: ±26,335 SQ.FT. (±0.60 ACRES)
- PROVIDE A GROUNDCOVER STABILIZATION (TEMPORARY OR PERMANENT) ON ALL DENUDED DOWNSTREAM SURFACES FOLLOWING THE COMPLETION OF LAND DISTURBING ACTIVITIES PER THE CRITERIA LISTED BELOW:
  - PERIMETER DIKES, BERMS, SWALES, DITCHES AND SLOPES SHALL BE STABILIZED IN 7 DAYS.
  - HIGH QUALITY WATER (HOW) ZONES SHALL BE STABILIZED IN 7 DAYS.
  - DOWNSTREAM SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IN 7 DAYS. IF SLOPES ARE 10' OR LESS AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
  - DOWNSTREAM SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH SHALL BE STABILIZED IN 14 DAYS. SLOPES 3:1 OR FLATTER EXCEEDING 50' IN LENGTH SHALL BE STABILIZED IN 7 DAYS.
  - ALL OTHER DOWNSTREAM AREAS WITH SLOPES 4:1 OR FLATTER SHALL BE STABILIZED WITHIN 14 DAYS.
- IF LAND DISTURBING ACTIVITIES OCCUR OUTSIDE THE PERMANENT VEGETATION SEEDING DATES (APR. 1- SEP. 30) THEN TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING SPECIFICATIONS (SEE PERM. & TEMP. SEEDING SPECIFICATIONS).
- IF EXCESSIVE WIND EROSION OR STORMWATER RUNOFF EROSION DEVELOPS DURING TIME OF CONSTRUCTION ANY LOCATION ON THE PROJECT SITE, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AS DIRECTED BY THE ENGINEER TO ADDRESS THE PROBLEM AREA AND PREVENT DAMAGE TO ADJACENT PROPERTIES.
- SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT CONTROLS ARE ESTABLISHED.
  - A RAIN GAUGE MUST BE KEPT ON SITE.
  - DEDICATED DEMOLITION AND OTHER WASTE AREAS AND EARTHEN MATERIAL STOCKPILES MUST BE LOCATED AT LEAST 50 FEET FROM DRAINS OR STREAMS UNLESS AN ALTERNATIVE IS FEASIBLE.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN A HALF INCH (DURING A 24 HOUR PERIOD). IMMEDIATE CORRECTIVE ACTION MUST BE TAKEN FOR ANY DEVICE FAILURE.
  - INSPECT ALL OUTLETS WHERE RUNOFF LEAVES SITE AND EVALUATE EFFECT ON NEARBY STREAMS. TAKE CORRECTIVE ACTION IF NECESSARY.
  - MAINTAIN RECORDS OF INSPECTIONS AND CORRECTIVE ACTIONS.
  - EARTHWORK NOTE: OFFSITE BORROW MATERIAL SHALL COME FROM AN NCDQD LAND QUALITY SECTION APPROVED SITE. OFFSITE DISPOSAL OF EXCESS MATERIAL SHALL BE TO AN NCDQD LAND QUALITY SECTION APPROVED SITE.

**CONSTRUCTION SEQUENCE:**

- PRECONSTRUCTION:**
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
  - FLAG AND/OR ROUGH STAKE WORK LIMITS.
  - HOLD PRECONSTRUCTION CONFERENCE (OWNER, CONTRACTOR, ENGINEER, AND APPROPRIATE GOVERNMENT OFFICIALS) AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- CONSTRUCTION:**
- INSTALL INLET PROTECTION ON EXISTING STORM STRUCTURES.
  - COMPLETE DEMOLITION OF EXISTING FEATURES AS REQUIRED (SEE SHEET C-1)
  - COMPLETE CLEARING AND GRUBBING PROCEDURES.
  - GRADE SITE ACCORDING TO PLAN AND BEGIN CONSTRUCTION OF PROPOSED IMPROVEMENTS.
  - INSTALL CONTRIBUTING STORM CONVEYANCES AND ASSOCIATED EROSION CONTROLS.
  - ALL EROSION & SEDIMENTATION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER HEAVY RAINFALL EVENT. NEEDED REPAIRS AND MAINTENANCE WILL BE MADE IMMEDIATELY. FURTHERMORE, IF ANY WIND OR STORMWATER RUNOFF EROSION DEVELOPS DURING THE CONSTRUCTION OF THE PROJECT, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS THE PROBLEM AREA.
  - ONCE THE SITE CONSTRUCTION IS COMPLETE AND DENUDED SURFACES ARE FULLY STABILIZED; ALL STORMWATER CONVEYANCES, STRUCTURES, PIPING AND BASINS SHALL BE CLEANED OF ALL SILT/DEBRIS WHICH MAY HAVE ACCUMULATED DURING CONSTRUCTION. CONTRACTOR SHALL VERIFY DESIGN GRADES OF ALL STORMWATER CONVEYANCES RESTORE TO DESIGN SPECIFICATIONS AS NECESSARY.
  - UPON THE REMOVAL OF ACCUMULATED SEDIMENTS AND SITE STABILIZATION, ALL REMAINING EROSION CONTROLS MAY BE REMOVED FROM THE DEVELOPMENT. ALL DOWNSTREAM EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL OTHER DEVELOPMENT CONSTRUCTION ACTIVITIES.



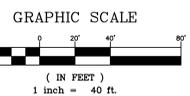
**NOTE: THIS DOCUMENT IS PRELIMINARY - NOT FOR CONSTRUCTION, RECORDATION, SALES OR CONVEYANCES - THIS DOCUMENT IS FOR DISCUSSION PURPOSES ONLY! EXISTING INFORMATION SHOWN ON THIS DOCUMENT DOES NOT REPRESENT A COMPLETE ACCURATE SURVEY AND IS NOT CERTIFIED BY A LICENSED PROFESSIONAL LAND SURVEYOR. ALL INFORMATION SHOWN ON THIS DOCUMENT IS SUBJECT TO ANY REQUIREMENTS BY ANY REGULATORY AGENCY, ENTITY OR AUTHORITY.**

QUILBE & ASSOCIATES, P.C. DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF ANY INFORMATION IN THIS DOCUMENT AND IS NOT RESPONSIBLE FOR ANY ERROR OR OMISSION OR ANY LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.

- LEGEND**
- EXISTING ASPHALT PAVEMENT
  - PROPOSED CONCRETE
  - PROPOSED ASPHALT
  - EXISTING WATER LINE
  - EX. UNDERGROUND NATURAL GAS
  - EXISTING SANITARY SEWER
  - EXISTING SPOT GRADE
  - PROPOSED SPOT GRADE
  - TOP OF CONCRETE CURB/WALK GRADE
  - FLOW LINE GRADE
  - EX. IRON ROD
  - EX. CONC. MON.
  - EX. PK NAIL
  - CALCULATED POINT
  - EX. UTILITY POLE
  - EX. FIRE HYDRANT
  - EX. LIGHT



**Quilbe & Associates, P.C.**  
SINCE 1959  
ENGINEERING • CONSULTING • PLANNING  
ENVIRONMENTAL SCIENCES • SURVEYING  
NC LICENSE# 5-0208  
PHONE: (252) 261-3200  
FAX: (252) 261-1260  
E-MAIL: administrator@quilbe.com



This drawing is the property of The East Group, P.A. Any use, reuse, reproduction, display or sale of this drawing without written consent of The East Group, P.A. is strictly prohibited. (© Copyright, The East Group, P.A. 2016)

**THE EAST GROUP**  
Engineering Architecture  
Surveying Technology

Corporate Office  
324 Evans Street  
Greenville, NC 27858  
Tel 252.756.3746 Fax 252.630.3954  
www.eastgroup.com

Branch Office  
4322 Lake Boone Trail, Suite 311  
Raleigh, NC 27607  
Tel 919.784.9330 Fax 919.784.9331

NC Engineering License No. C-0206  
NC Architectural License No. 50213  
NC Landscape Architectural License No. C-427

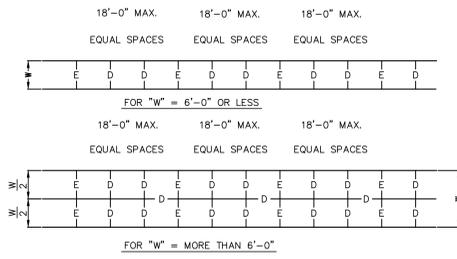
**VIDANT HEALTH™**

**THE OUTER BANKS HOSPITAL**  
4800 South Croatan Highway  
Nags Head, NC 27959  
252-489-9111

**THE EAST GROUP, P.A.**  
REGISTERED PROFESSIONAL ENGINEER  
GREENVILLE, NC  
50213

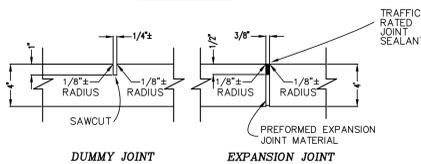
REV	DATE	DESCRIPTION	BY	CHK
0	11-17-2016	SUBMITTAL TO TOWN OF NAGS HEAD		
1	12-07-2016	REVISIONS AS PER TOWN TRC COMMENTS		

TEN PROJECT NO. 20150220  
CLIENT PROJECT NO. 3516  
PROJECT TITLE  
**Rehab Building and Maintenance Storage Building**  
DRAWING TITLE  
**GRADING & DRAINAGE PLAN AND SCLP**  
DRAWING NO.  
**C-3**



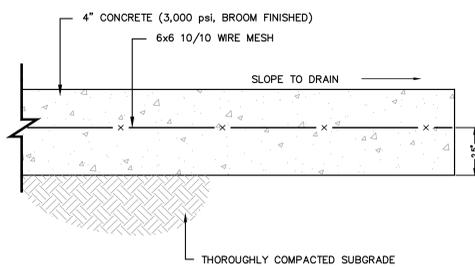
NOTES:  
 -EXCEPT WHERE SHOWN IN THE PLAN, ALL NEW CONC. WALKS SHALL HAVE JOINTS SPACED AS SHOWN IN THESE DETAILS.  
 -AN EXPANSION JOINT SHALL BE USED TO SEPARATE THE NEW CONC. WALK FROM OTHER NEW OR EXISTING CONCRETE CONSTRUCTION.

**JOINT PATTERN**



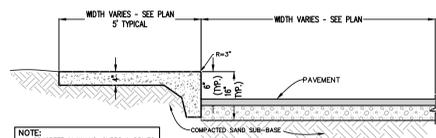
**JOINT DETAIL**

**SIDEWALK JOINTS**

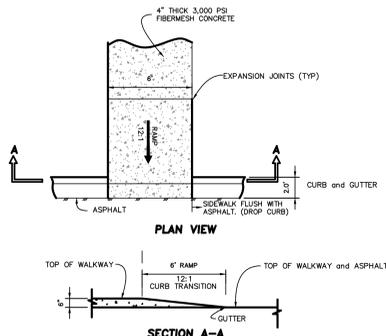


**CONCRETE SIDEWALK SECTION**

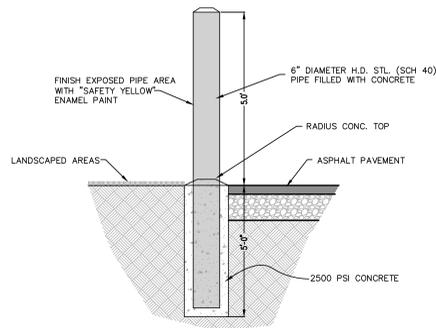
GENERAL CONTRACTOR MAY REPLACE FIBERMESH CONCRETE WITH WIRE SCREEN OR WIRE SCREEN WITH FIBERMESH CONCRETE AS APPROVED BY ENGINEER



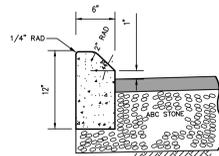
**RAISED CURB SIDEWALK/ASPHALT SECTION**



**WHEELCHAIR RAMP WALKWAY**

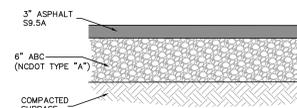


**BOLLARD DETAIL**

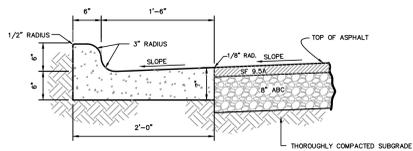


**PARKWAY 6" x 12" CONCRETE CURB**

REF. NCDOT STD. 846.01 N.T.S.



**ASPHALT X-SEC**

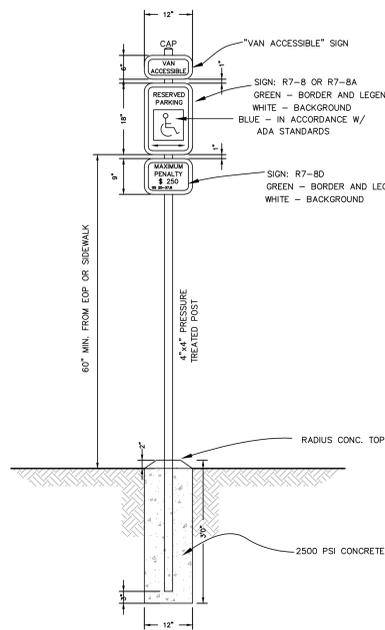


**2'-0" CURB and GUTTER**

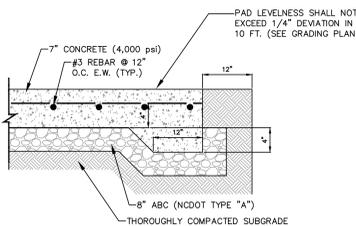
REF. NCDOT STD. 846.01 N.T.S.

**SEWER CLEAN-OUT**

N.T.S.

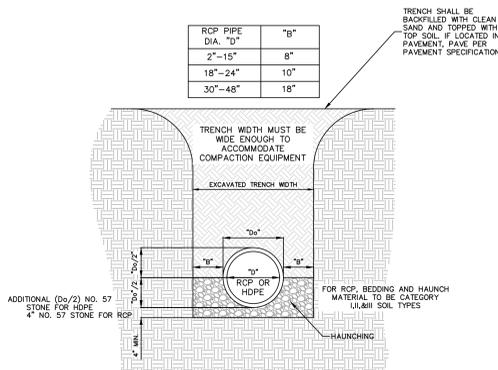


**ADA RESERVED PARKING SIGN DETAIL**



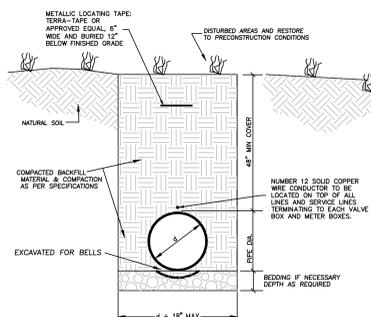
**CONCRETE PAVEMENT SECTION**

NOTE:  
 - PROVIDE 7" THICK REINFORCED CONCRETE SLAB-ON-GRADE  
 - REINFORCING STEEL ASTM, A615, GRADE 60  
 - 2" CLEAR CONCRETE COVER ON ALL REINFORCING.



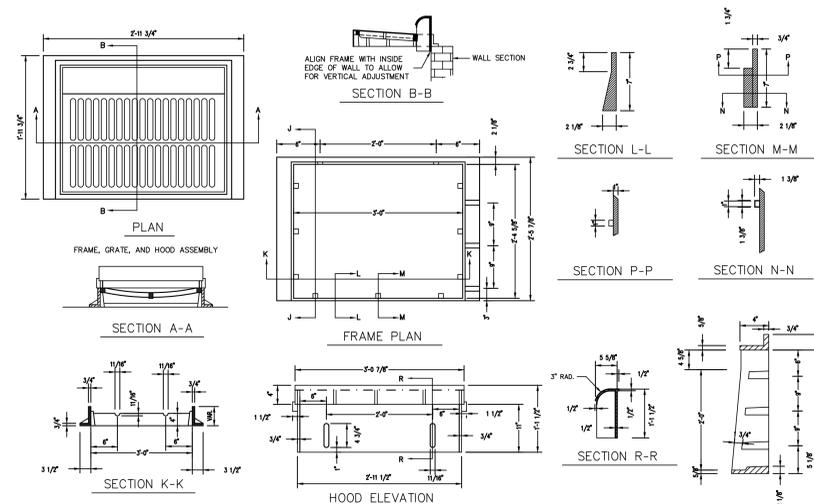
**STORM PIPE TRENCH SECTION**

NOTE:  
 1. ALL PIPE JOINTS SHALL BE WRAPPED WITH NCDOT TYPE II GEOTEXTILE OR APPROVED EQUIVALENT.



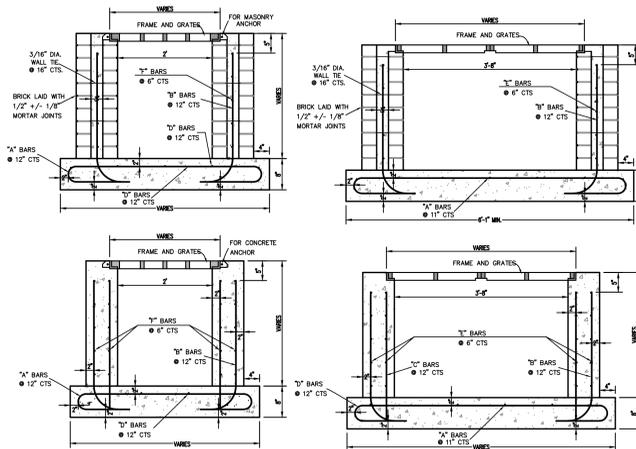
**UTILITY TRENCH SECTION**

N.T.S.



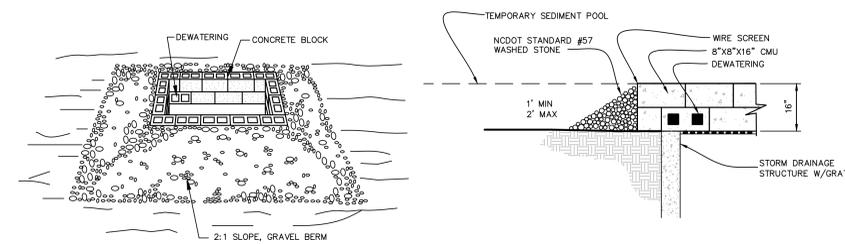
**CURB & GUTTER FRAME, GRATE & HOOD**

REQUIRED WHEREVER STORM RAIN IS PLACED IN CURB & GUTTER REF. NCDOT STD. 840.03B N.T.S.



**TRAFFIC BEARING DROP INLET**

- REFERENCE NCDOT SPECIFICATION DRAWING 840.35  
 - ALL REINFORCING MEMBERS TO BE #6 REBAR  
 - GRATE TO HAVE MAXIMUM 1/2" GRATE OPENING  
 - REQUIRED WITHIN ALL VEHICULAR TRAVELWAYS AND PARKING



**INLET PROTECTION**

INLET PROTECTION SHALL BE PROVIDED AT ALL DROP INLETS, CURB INLETS YARD INLETS AND ANY OTHER STORMWATER COLLECTION INLET.

**PERMANENT VEGETATION**

SEEDING DATES: APRIL 1 - SEPT 30

SEED MIXTURE	APPLICATION RATES/ACRE
BAHIA	50 LBS.
COMMON BERMAUDA	50 LBS.
(UNHULLED)	
GERMAN MILLETT	15 LBS.
FESCUE	20 LBS.

FERTILIZER: 26-13-13 @ 500 LB/ACRE

MULCH: APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

GENERAL:  
 -FERTILIZER RATES SHOWN ARE GENERAL RECOMMENDATIONS; FREQUENCY AND AMOUNT OF FERTILIZATION CAN BEST BE DETERMINED THROUGH SITE SPECIFIC SOIL TESTING.  
 -MAINTENANCE:  
 SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER. EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY AND, IF LEFT UNATTENDED, CAN ALLOW SERIOUS SOIL LOSS FROM AN OTHERWISE STABLE SURFACE. A SINGLE HEAVY RAIN IS OFTEN SUFFICIENT TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED, THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED IN, RE-SEED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.  
 MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE. (UNTIL FINAL COMPLETION IS AWARDED)  
 WEAK OR DAMAGED SPOTS MUST BE RELIEM, FERTILIZED, MULCHED, AND RESEED AS PROMPTLY AS POSSIBLE. REFERTILIZATION MAY BE NEEDED TO MAINTAIN PRODUCTIVE STANDS.

**TEMPORARY VEGETATION**

SEEDING DATES: OCT. 1 - MARCH 31

SEED MIXTURE	APPLICATION RATES/ACRE
RYE GRAIN	175 LBS.

FERTILIZER: 10-10-10 @ 1000 LB/ACRE

MULCH: APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**SEEDING SPECIFICATIONS**

**THE EAST GROUP**  
 ■ Engineering ■ Architecture  
 ■ Surveying ■ Technology  
 Corporate Office  
 324 Evans Street  
 Greenville, NC 27858  
 Tel 252.756.3746 Fax 252.630.3954  
 www.eastgroup.com  
 Branch Office  
 4252 Lake Boone Trail, Suite 311  
 Raleigh, NC 27607  
 Tel 919.784.9330 Fax 919.784.9331  
 NC Engineering License No. C-0206  
 NC Architectural License No. 50213  
 NC Landscape Architectural License No. C-427

**VIDANT HEALTH™**

**THE OUTER BANKS HOSPITAL**  
 4800 South Croatan Highway  
 Nags Head, NC 27959  
 252-489-9111

**THE EAST GROUP, P.A.**  
 50213  
 GREENVILLE, NC

REV	DATE	DESCRIPTION
0	11-17-2016	SUBMITTAL TO TOWN OF NAGS HEAD
1	12-07-2016	REVISIONS AS PER TOWN TRC COMMENTS

TEG PROJECT NO. 20150220  
 CLIENT PROJECT NO. 3516  
 PROJECT TITLE  
**Rehab Building and Maintenance Storage Building**  
 DRAWING TITLE  
**SITE DETAILS**  
 DRAWING NO.  
**C-4**

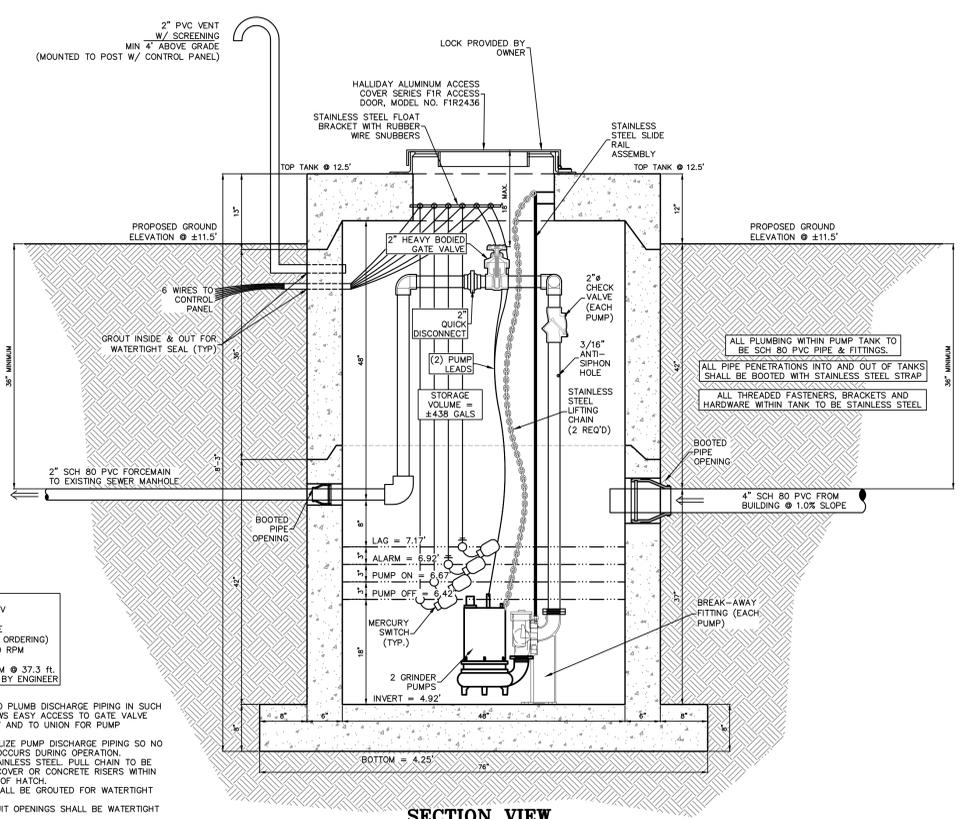


**Quible & Associates, P.C.**  
 SINCE 1959  
 ENGINEERING • CONSULTING • PLANNING  
 ENVIRONMENTAL SCIENCES • SURVEYING  
 NC LICENSE # C-0206  
 Phone: (252) 261-3300  
 Fax: (252) 261-3200  
 E-Mail: qam@quibleandassociates.com

This drawing is the property of The East Group, P.A. Any use, reuse, reproduction, display or sale of this drawing without written consent of The East Group, P.A. is strictly prohibited. (© Copyright, The East Group, P.A. 2016)

REV	DATE	DESCRIPTION
0	11-17-2016	SUBMITTAL TO TOWN OF NAGS HEAD
1	12-07-2016	REVISIONS AS PER TOWN TRC COMMENTS

TEG PROJECT NO.	20150220
CLIENT PROJECT NO.	3516
PROJECT TITLE	Rehab Building and Maintenance Storage Building
DRAWING TITLE	WASTEWATER DETAILS
DRAWING NO.	C-5

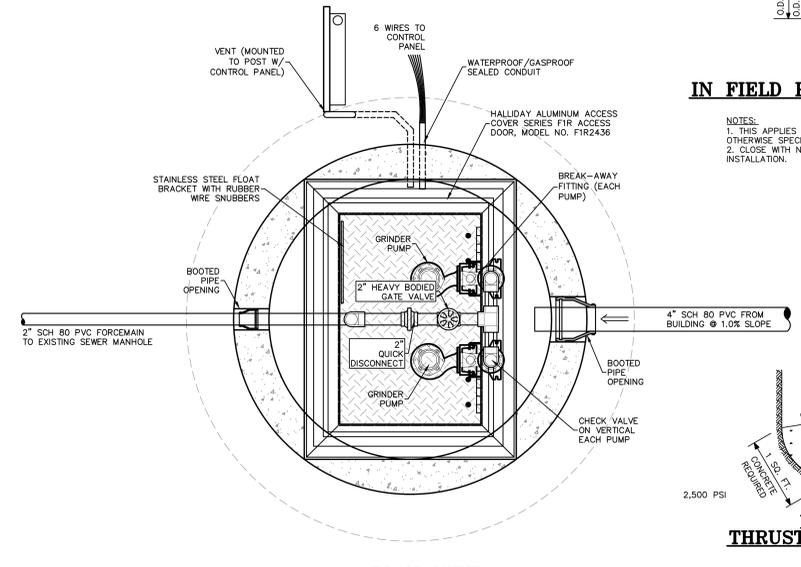


**PUMP: (2 REQUIRED)**  
 BARNES PUMP, MODEL SGV (GRINDER PUMP)  
 - 2.0 HP, 230V, 1 PHASE (VERIFY POWER PRIOR TO ORDERING)  
 - 1.25\"/>

- NOTES:**
- SEWER CONTRACTOR TO PLUMB DISCHARGE PIPING IN SUCH A MANNER THAT ALLOWS EASY ACCESS TO GATE VALVE FOR FLOW ADJUSTMENT AND TO UNION FOR PUMP REMOVAL.
  - CONTRACTOR TO STABILIZE PUMP DISCHARGE PIPING SO NO EXCESSIVE VIBRATION OCCURS DURING OPERATION.
  - PULL CHAIN TO BE STAINLESS STEEL. PULL CHAIN TO BE ATTACHED TO HATCH COVER OR CONCRETE RISERS WITHIN EASY ACCESS OF TOP OF HATCH.
  - ALL PIPE OPENINGS SHALL BE GROUTED FOR WATERTIGHT SEALS.
  - ALL ELECTRICAL CONDUIT OPENINGS SHALL BE WATERTIGHT AND GASTIGHT.
  - ALL PIPE TO BE SCH 80 PVC UNLESS OTHERWISE NOTED.

**SECTION VIEW**  
 SCALE: 1" = 1'

**4' DIA. PUMP STATION**  
 CAROLINA PRECAST CONCRETE, INC. 4\"/>



**PLAN VIEW**  
 SCALE: 1" = 1'  
**4' DIA. PUMP STATION**

CAROLINA PRECAST CONCRETE, INC. 4\"/>

**IN FIELD PIPE OPENINGS**

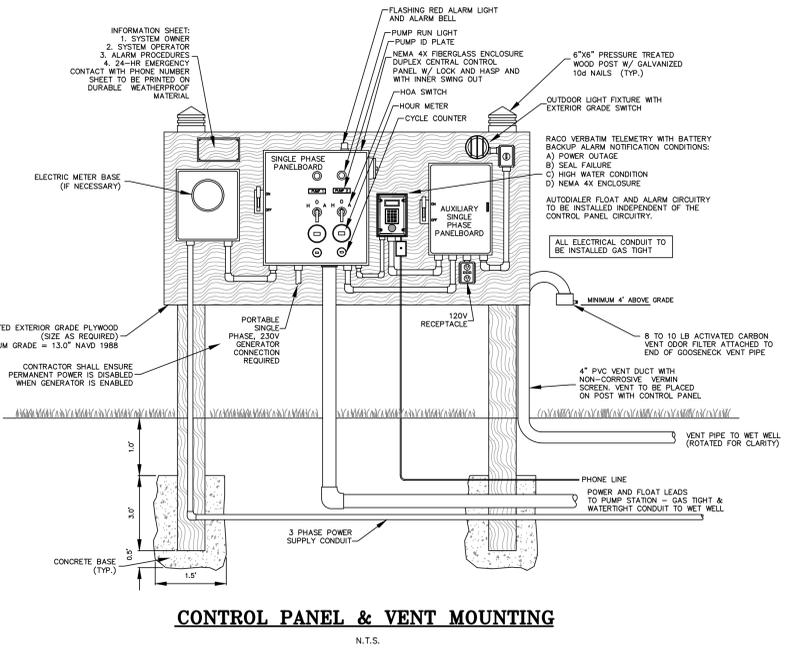
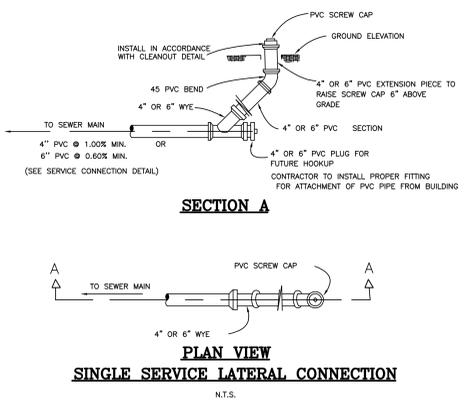
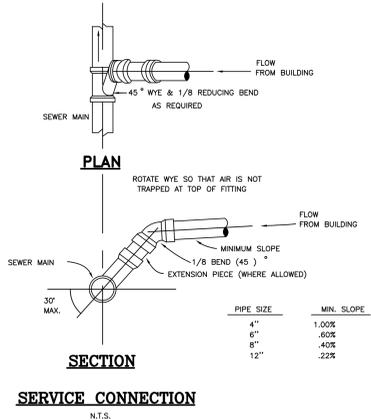
- NOTES:**
- THIS APPLIES TO ALL PIPES 6\"/>

**BOOTED PIPE OPENINGS**

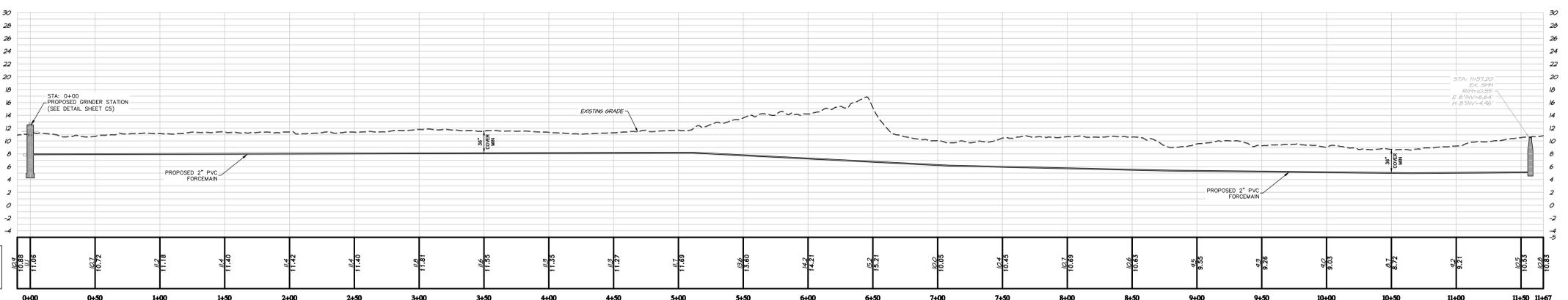
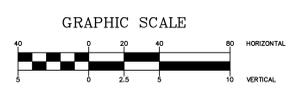
- NOTES:**
- PIPE TO MANHOLE CONNECTION TO CONFORM TO LATEST ASTM C-478 SPECIFICATION.
  - PSK FLEXIBLE BOOT CONNECTOR TO CONFORM TO LATEST ASTM C-923 SPECIFICATION.
  - BOOT CONNECTOR IS MANUFACTURED BY THE PRESS SEAL GASKET CORP. FORT WAYNE, IN.
  - SEE MANUFACTURER LITERATURE FOR FURTHER INFORMATION AND DETAIL.

**FORCE MAIN THRUST BLOCKS & BENDS**  
 N.T.S.

**SEWER CLEAN-OUT**  
 N.T.S.



**CONTROL PANEL & VENT MOUNTING**  
 N.T.S.



**PROFILE OF GRINDER STATION SEWER FORCEMAIN**  
 SCALE: 1" = 40'  
 VERTICAL SCALE: 1" = 8'  
 VERTICAL SCALE IS EXAGGERATED 5 TIMES



This drawing is the property of The East Group, P.A. Any use, reuse, reproduction, display or sale of this drawing without written consent of The East Group, P.A. is strictly prohibited. (© Copyright, The East Group, P.A. 2016)



**1 REHAB BUILDING FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**THE EAST GROUP**  
 ■ Engineering ■ Architecture  
 ■ Surveying ■ Technology  
 Corporate Office  
 324 Evans Street  
 Greenville, NC 27658  
 Tel 252.758.3746 Fax 252.630.9654  
 www.eastgroup.com  
 Branch Office  
 4525 Lake Boone Trail, Suite 311  
 Raleigh, NC 27607  
 Tel 919.784.9330 Fax 919.784.9331  
 NC Engineering License No. C-0206  
 NC Architectural License No. 50213  
 NC Landscape Architectural License No. C-427



**THE OUTER BANKS HOSPITAL**  
 4800 South Croatan Highway  
 Nags Head, NC 27959  
 252-489-9111

**PRELIMINARY DESIGN DOCUMENTS**  
 NOT FOR CONSTRUCTION

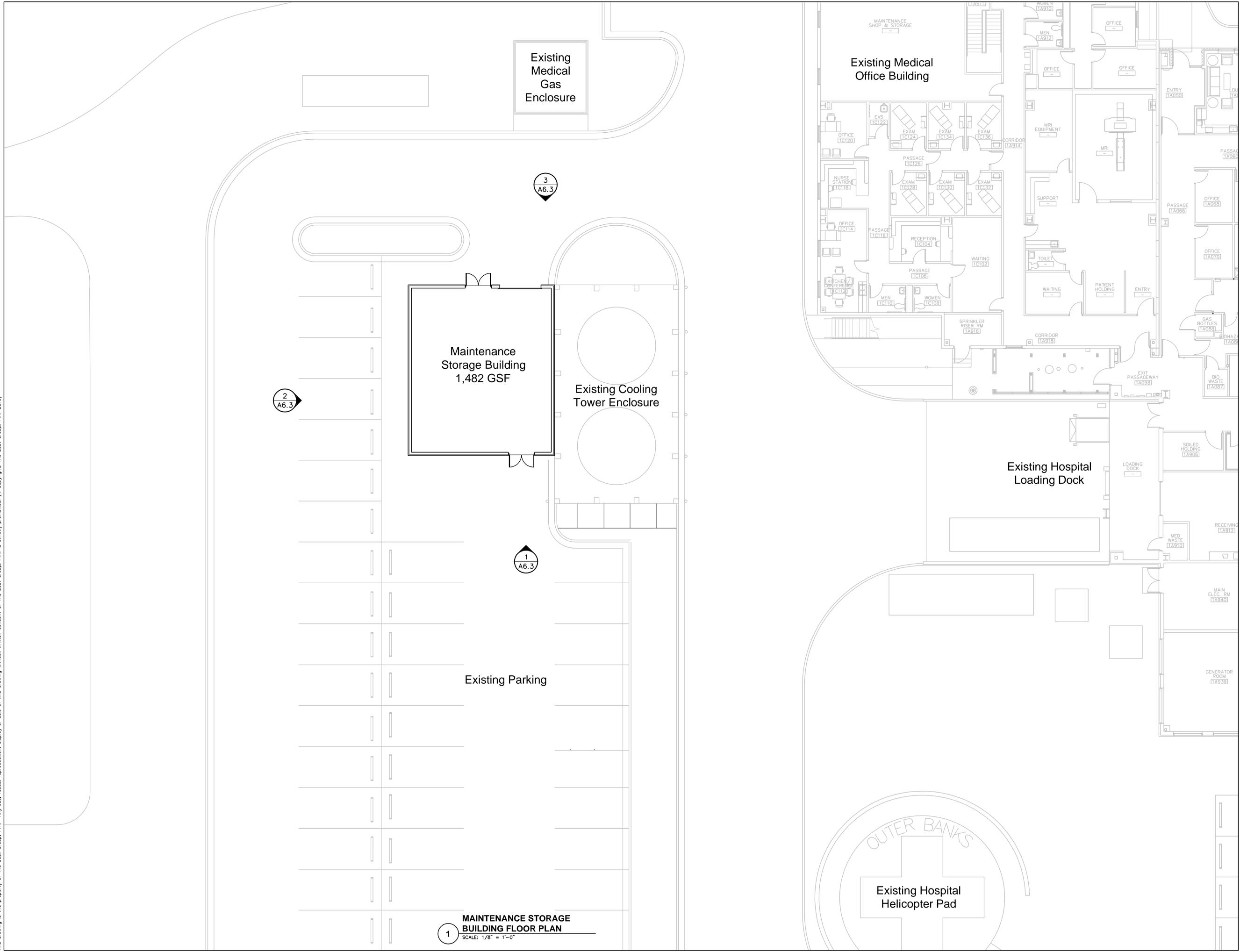
REV	DATE	DESCRIPTION
0	11-09-2016	PROGRESS DESIGN DOCUMENTS - NOT FOR CONSTRUCTION

TEC PROJECT NO. 20150220  
 CLIENT PROJECT NO. 3516  
**Rehab Building and Maintenance Storage Building**

**REHAB BUILDING FLOOR PLAN**

**A2.1A**

This drawing is the property of The East Group, P.A. Any use, reuse, reproduction, display or sale of this drawing without written consent of The East Group, P.A. is strictly prohibited. (© Copyright, The East Group, P.A. 2016)



**1** MAINTENANCE STORAGE BUILDING FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**THE EAST GROUP**  
 ■ Engineering ■ Architecture  
 ■ Surveying ■ Technology  
 Corporate Office  
 324 Evans Street  
 Greenville, NC 27658  
 Tel 252.758.3746 Fax 252.630.3954  
 www.eastgroup.com  
 Branch Office  
 4525 Lake Boone Trail, Suite 311  
 Raleigh, NC 27607  
 Tel 919.784.9330 Fax 919.784.9331  
 NC Engineering License No. C-0206  
 NC Architectural License No. 50213  
 NC Landscape Architectural License No. C-427

**VIDANT HEALTH™**  
 THE OUTER BANKS HOSPITAL  
 4800 South Croatan Highway  
 Nags Head, NC 27959  
 252-489-9111

THE EAST GROUP, P.A.  
 50213  
 GREENVILLE, NC

**PRELIMINARY DESIGN DOCUMENTS**  
 NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION	BY	CHK
0	11-09-2016	PROGRESS DESIGN DOCUMENTS - NOT FOR CONSTRUCTION		

TEC PROJECT NO. 20150220  
 CLIENT PROJECT NO. 3516  
 PROJECT TITLE  
**Rehab Building and Maintenance Storage Building**  
 DRAWING TITLE  
**MAINTENANCE STORAGE BUILDING FLOOR PLAN**  
 DRAWING NO.  
**A2.1B**

Design Element	Formula/Element Provided	Points Earned
Porches	1st Floor Porch - $p1/b1 \times 150 =$ $p1 = \text{perimeter of 1st floor with porch} = 35.5'$ $b1 = \text{perimeter of first floor} = 300.1'$	18
Dormers	$n \times 5$ $n = \text{number of dormers} = 5$	25
Roofs	Compliant Form & Pitch (Minimum 6:12 pitch for commercial buildings)	25
Building Form	Combination base form	40
Siding Materials	Simulated shingle siding	12
Miscellaneous Details	Windows - 20 Workable shutters - 15 Exposed rafter tails - 5 Beauty Bands - 5 Porch Column Trim - 5	5
Total Points Earned		125



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**THE EAST GROUP**  
 ■ Engineering ■ Architecture  
 ■ Surveying ■ Technology  
 Corporate Office  
 324 Evans Street  
 Greenville, NC 27858  
 Tel 252.758.3746 Fax 252.630.3954  
 www.eastgroup.com  
 Branch Office  
 4525 Lake Boone Trail, Suite 311  
 Raleigh, NC 27607  
 Tel 919.784.9330 Fax 919.784.9331  
 NC Engineering License No. C-0206  
 NC Architectural License No. 50213  
 NC Landscape Architectural License No. C-427

**VIDANT HEALTH**  
 THE OUTER BANKS HOSPITAL  
 4800 South Croatan Highway  
 Nags Head, NC 27959  
 252-489-9111

**THE EAST GROUP P.A.**  
 50213  
 GREENVILLE, NC  
**PRELIMINARY DESIGN DOCUMENTS**  
 NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION
0	11-09-2016	PROGRESS DESIGN DOCUMENTS - NOT FOR CONSTRUCTION

TEC PROJECT NO. 20150220  
 CLIENT PROJECT NO. 3516  
 PROJECT TITLE  
**Rehab Building and Maintenance Storage Building**  
 DRAWING TITLE  
**REHAB BUILDING ELEVATIONS**  
 DRAWING NO.

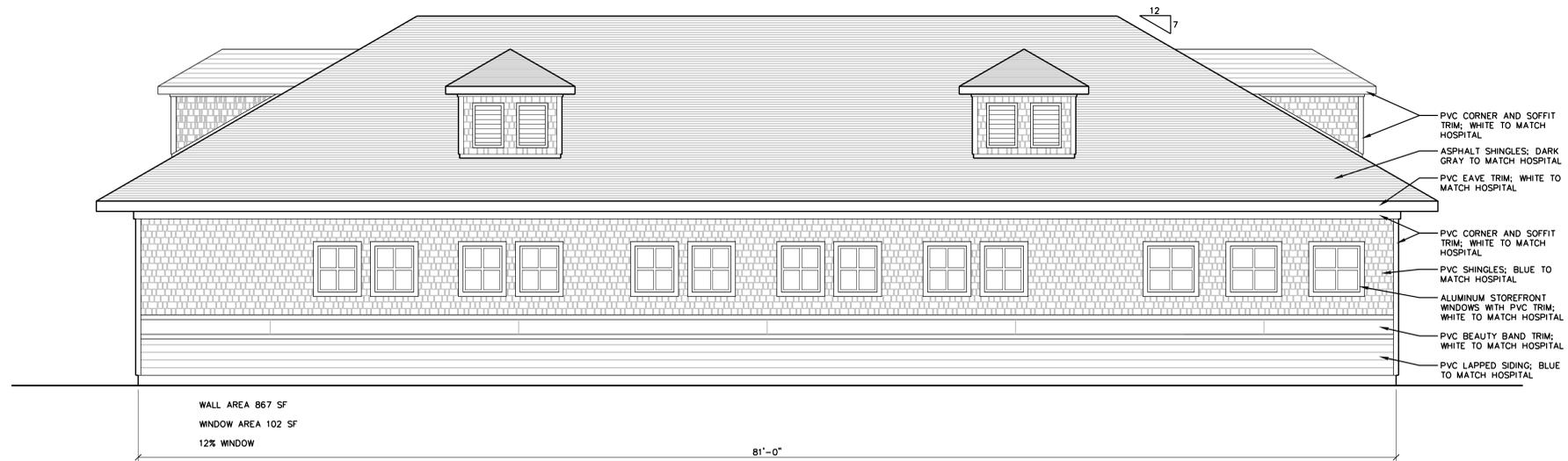
**A6.1**

This drawing is the property of The East Group, P.A. Any use, reuse, reproduction, display, or sale of this drawing without written consent of The East Group, P.A. is strictly prohibited. (© Copyright, The East Group, P.A. 2016)

This drawing is the property of The East Group, P.A. Any use, reuse, reproduction, display, or sale of this drawing without written consent of The East Group, P.A. is strictly prohibited. (© Copyright, The East Group, P.A. 2016)



**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**Engineering** ■ **Architecture**  
**Surveying** ■ **Technology**  
 Corporate Office  
 324 Evans Street  
 Greenville, NC 27658  
 Tel 252.758.3746 Fax 252.830.3954  
 www.eastgroup.com  
 Branch Office  
 4525 Lake Boone Trail, Suite 311  
 Raleigh, NC 27607  
 Tel 919.784.9330 Fax 919.784.9331  
 NC Engineering License No. C-0206  
 NC Architectural License No. 50213  
 NC Landscape Architectural License No. C-427



THE OUTER BANKS  
 HOSPITAL  
 4800 South Croatan Highway  
 Nags Head, NC 27959  
 252-489-9111



**PRELIMINARY  
 DESIGN  
 DOCUMENTS**  
 NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION
0	11-09-2016	PROGRESS DESIGN DOCUMENTS - NOT FOR CONSTRUCTION

TEC PROJECT NO. 20150220

CLIENT PROJECT NO. 3516

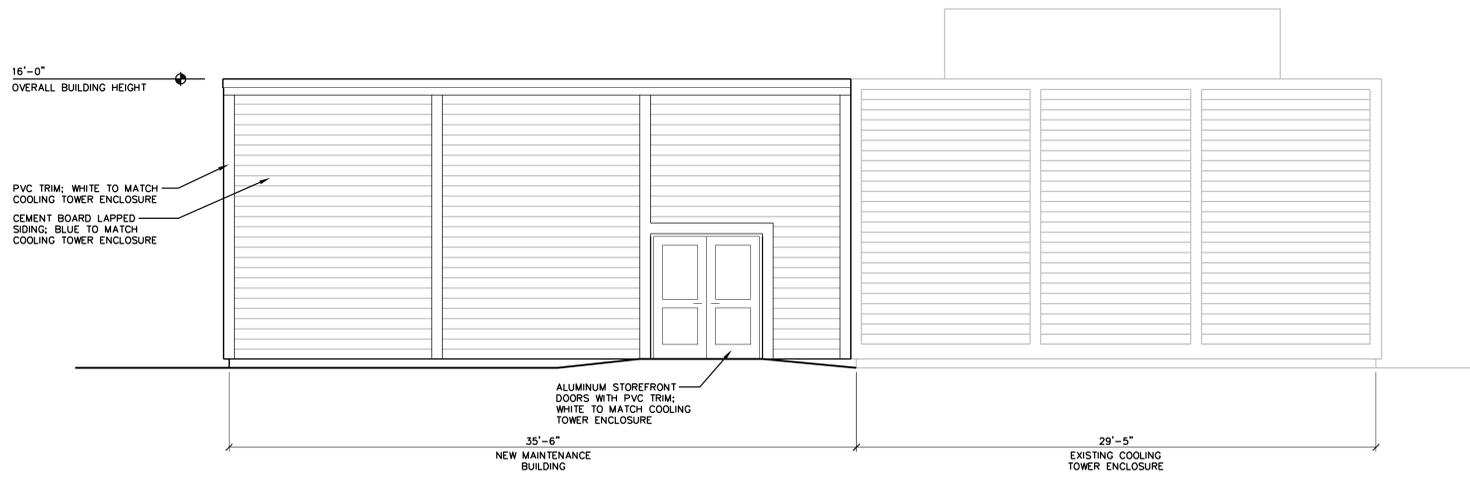
**Rehab Building  
 and  
 Maintenance Storage  
 Building**

**REHAB BUILDING  
 ELEVATIONS**

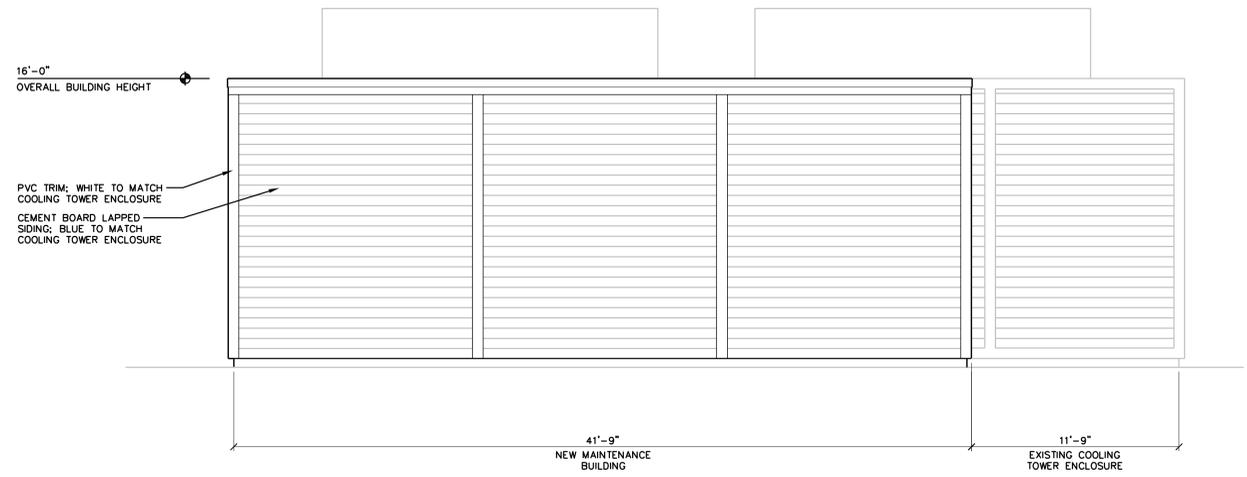
DRAWING NO.

**A6.2**

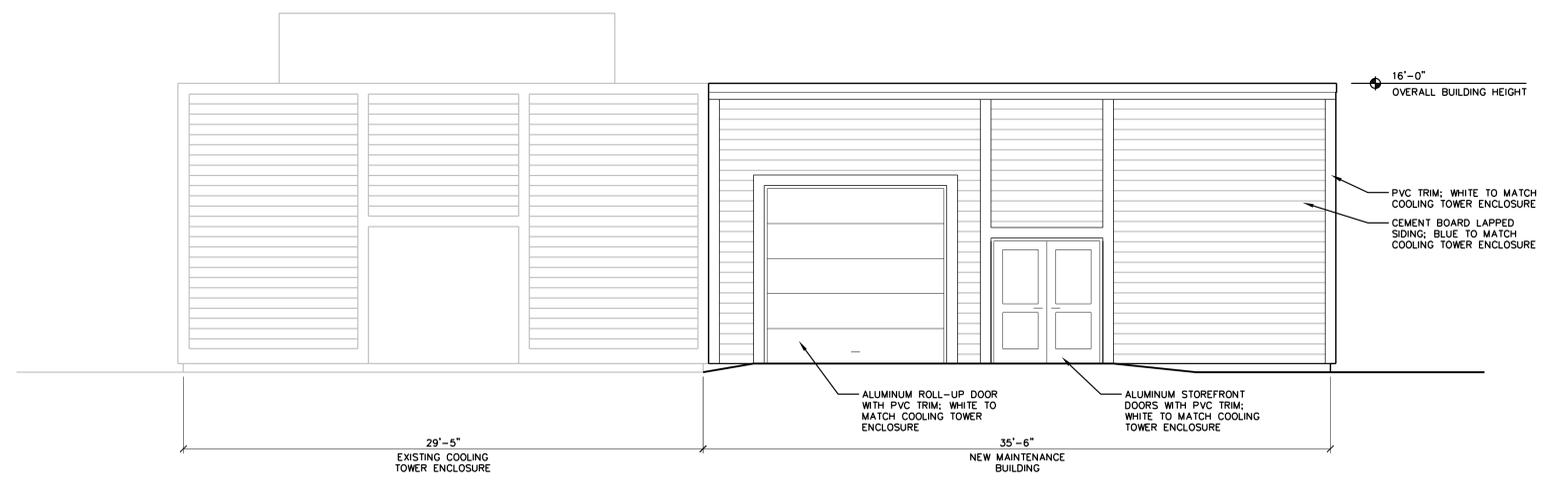
This drawing is the property of The East Group, P.A. Any use, reuse, reproduction, display or sale of this drawing without written consent of The East Group, P.A. is strictly prohibited. (© Copyright, The East Group, P.A. 2016)



**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



■ Engineering ■ Architecture  
 ■ Surveying ■ Technology  
 Corporate Office  
 324 Evans Street  
 Greenville, NC 27658  
 Tel 252.758.3746 Fax 252.830.3954  
 www.eastgroup.com  
 Branch Office  
 4525 Lake Boone Trail, Suite 311  
 Raleigh, NC 27607  
 Tel 919.784.9330 Fax 919.784.9331  
 NC Engineering License No. C-0206  
 NC Architectural License No. 50213  
 NC Landscape Architectural License No. C-427



THE OUTER BANKS  
 HOSPITAL  
 4800 South Croatan Highway  
 Nags Head, NC 27959  
 252-489-9111



**PRELIMINARY  
 DESIGN  
 DOCUMENTS**  
 NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION
0	11-09-2016	PROGRESS DESIGN DOCUMENTS - NOT FOR CONSTRUCTION

TEC PROJECT NO. 20150220

CLIENT PROJECT NO. 3516

PROJECT TITLE  
**Rehab Building  
 and  
 Maintenance Storage  
 Building**

DRAWING TITLE  
**MAINTENANCE  
 STORAGE BUILDING  
 ELEVATIONS**

DRAWING NO.

**A6.3**

## STAFF REPORT

**TO:** Planning Board

**FROM:** Kelly Wyatt, Deputy Planning Director and Zoning Administrator  
Andy Garman, Deputy Town Manager and Planning Director

**DATE:** December 13, 2016

**SUBJECT:** Discussion and request for initiation of a zoning ordinance text amendment to Town Code Sections 48-442(e) and (f), Conditional Uses within the SED-80, Special Environmental District, as it relates to lot coverage for nursing homes.

In early 2013 the Nags Head Board of Commissioners adopted a text amendment at the request of the Colony Ridge Nursing Home (now Peak Resources) located at 430 W. Health Center Drive, Nags Head to increase the allowable lot coverage within the SED-80, Special Environmental District, from 15% to 20% of the total lot area. The purpose of this amendment was to accommodate planned renovations to the facility that were being requested by the Town. At the Board of Commissioners January 16, 2013 meeting, this text amendment was adopted. Since then, numerous upgrades (both interior and exterior) have occurred to the facility. Recently, Peak Resources expressed an interest in purchasing this site from the Town. At the Board of Commissioners November 16, 2016 meeting, after being briefed by the Town Attorney on the upset bid process, the Board accepted an offer from Peak Resources to buy the property. The language of the original text amendment in 2013 applied the increase in lot coverage only to "municipally owned government facilities" since, at the time, the Town of Nags Head owned the property. With the upcoming sale of the property it is necessary to revise the language to remove requirement that it be government owned. This will allow Peak Resources to accept and make necessary renovations to the property.

The section of the code pertaining to this proposed text change is included in your packet. At this time staff is requesting that the Planning Board initiate the text amendment process to correct this issue.

Attachment: Town Code Section 48-442(e) and (f)

- (2) Watershed conservation areas.
- (3) Nonprofit wildlife and ecological preserves.
- (4) Hiking trails.
- (5) Municipal estuarine access facilities.
- (6) Private docks as permitted by CAMA.
- (7) Estuarine bulkheads.
- (8) Accessory uses and structures limited to private swimming pool, private tennis court, detached garage, storage building, roof top wind energy facilities, vertical axis wind energy facilities, and private dock. Any accessory use or structure shall meet the front, rear and side setbacks required for principal structures, except for water dependent structures, which may be excluded from water-side setback only.

\* (e) Conditional uses. The following uses shall be permitted subject to the requirements of this SED-80 district and additional regulations and requirements imposed by the board of commissioners as provided in article XIV of this chapter:

- (1) Residential cluster housing, subject to other requirements of this chapter and provided that the following conditions are met:
  - a. Residential clusters shall be on single parcels of which at least 50 percent of the parcel is net buildable land.
  - b. No unit in a residential cluster shall be located within 50 feet of a property line.
  - c. Residential clusters shall be limited to a maximum of three dwelling units per lot. The number of bedrooms and land area of required uplands shall conform to the density below table:

No. of Residential Units	No. of Bedrooms Allowed	Area of Upland Required
1	8	80,000
2	12	160,000
3	14	240,000

- 08-032
- d. Area requirements for residential clusters shall be 80,000 square feet of lot per single-family dwelling on site.
  - e. The minimum separation between detached units in a cluster shall be 20 feet.
  - f. Under no circumstance shall any one single family dwelling unit contain more than eight bedrooms.
- (2) Cemeteries, subject to other requirements of this chapter and provided that the following conditions are met:
- a. All cemeteries shall have perpetual care.
  - b. All graves or burial plots shall be set back not less than 30 feet from any public right-of-way and be not less than 50 feet from any lot line.
  - c. When a cemetery abuts a residential use, a 25-foot-wide undisturbed area of natural vegetation shall buffer the cemetery from the residential development.
  - d. The site shall be approved by all necessary regulatory agencies including, but not limited to, the county department of environmental health and the state cemetery commission.
- (3) Environmental awareness areas of low-intensity use, subject to other requirements of this chapter and provided that the following conditions are met:
- a. When an environmental awareness area abuts a residential use, a 25-foot-wide undisturbed area of natural vegetation shall buffer the environmental awareness area from the residential development.
  - b. Lighting shall be prohibited.
- (4) Municipal government passive recreational uses, specifically excluding motorized recreational activities, horse stables and riding trails, lighted ball fields, amusement parks, miniature golf courses, race and go-cart tracks, theaters of all kinds and similar uses which would tend to create a high concentration of activity and associated light, noise, dust, stormwater runoff, erosion, vegetation damage, or which would cause other similar adverse environmental effects, subject to other requirements of this chapter and provided that the following conditions are met:
- a. When a passive recreational use abuts a residential use, a 25-foot-wide undisturbed area of natural vegetation shall buffer the passive recreational use from the residential development.
  - b. Lighting shall be prohibited except for minimum lighting that may be required for security purposes and shall be in accordance with article IX of this chapter.
-  (5) Municipal government facilities owned and operated by the town shall be limited to police

firing range, public safety and governmental offices subject to other requirements of this chapter and meeting the following conditions:

- a. Lighting shall be the minimum amount that may be required for security purposes and shall be in accordance with article IX of this chapter.
- b. A police firing range shall be located a minimum distance of 500 feet from any residential use.
- c. Noncommercial, public safety and governmental heliport facilities shall comply with current FAA regulations in its design, size and use, and shall meet all applicable federal, state and local heliport requirements and the following:
  1. A proposed heliport lighting plan designed to comply with FAA regulations but shall be ground-level based, using cutoff or restrictive features to minimize overspill of light from the activity area itself.
  2. Heliport design and approach and departure areas shall be maintained per Heliport Design Advisory Circular 150/5390-2, USDOT, Federal Aviation Administration, January 4, 1988, as amended.
  3. The heliport shall be ground-based only. No rooftop facility shall be permitted.
  4. No fixed based operations or refueling facilities shall be permitted on the heliport site.

\* (6) Medical offices, nursing homes, and convalescent homes, provided that all such uses shall be located in that area as is now designated or may hereafter be designated for such uses by the town pursuant to chapter 1160 of the Session Laws of 1973 of the North Carolina General Assembly, as amended, and subject to the following:

- a. A minimum lot area of 80,000 square feet shall be required for each principal building on the site.
- b. Lighting shall be the minimum amount that may be required for security purposes and shall be in accordance with article IX of this chapter.
- c. Along the side and rear property lines, a 25-foot-wide undisturbed area of natural vegetation shall be provided.
- d. An evacuation plan shall be provided and be subject to review by the town.
- e. Medical and rehabilitation facilities may be located within a nursing home or convalescent home.

(7) Dormitory for temporary use by staff of government or nursing and convalescent homes only in conjunction with government services or medical, nursing home and convalescent home facilities already permitted in SED-80.

(8) Public water supply well fields, meeting the following conditions:

- a. Land clearing and grade changes around individual well point sites shall be limited to the least amount necessary to provide access for installation and maintenance of the well and pumps. In no case shall clearing and grading exceed a 30-foot radius around the well point.
- b. Water line placement shall be accomplished in a manner that reduces the need to remove vegetation and shall be placed, where feasible, along existing roads or pathways.
- c. When feasible, access to well sites shall be provided along established roadways or along existing pathways which can be improved to accommodate service vehicles.
- d. All utilities shall be placed underground.
- e. All development shall be in accordance with subsection (g)(2) of this section.

(f) Dimensional requirements. Within the SED-80 district, the following dimensional and setback requirements shall be in effect:

(1) For single-family detached dwellings and all principal nonresidential buildings on an individual lot, unless otherwise specified:

- a. A minimum lot area of 80,000 square feet is required for each principal building on a site.
- b. The minimum required front yard is 30 feet, subject to the provisions of this section  and subsection (g)(3) of this section.
- c. The minimum required side yard is 20 feet, subject to the provisions of this section and subsection (g)(3) of this section.
- d. The minimum required rear yard is 20 feet, subject to the provisions of this section and subsection (g)(3) of this section.

(2) For all single-family detached dwellings, all residential clusters and all principal buildings:

- a. Minimum required lot width as measured at building line is 200 feet.
- b. No structure or parking lot shall be located closer than 50 feet to any pond, stream, marsh or other wetlands or wetland swales.
- c. No structure or parking lot shall be located closer than 130 feet of the eastern boundary of the ridge line forest, and no removal of vegetation shall be permitted within 100 feet of the eastern boundary of the ridge line forest.
- d. Principal and accessory structures shall meet all requirements of subsection (g)(2) of this section.
- e. Maximum building height is 35 feet. However, the height of a structure meeting the

minimum roof pitch requirements of subsection 48-370 (d) of this chapter shall be allowed a maximum total height of 42 feet. The provisions of section 48-81 of this chapter, structures excluded from height limitations, shall not apply to the SED-80 district, except flagpoles and chimneys may exceed 35 feet in height.

- f. The lot coverage shall not exceed 15 percent. In the case of lots abutting estuarine waters (as defined by division of marine fisheries and used by CAMA), lot coverage shall be in accordance with the standards listed above, except that in the area waterward of the U.S. Army Corps of Engineers 404 fill line, lot coverage shall not exceed 15 percent. If the Corps of Engineers 404 fill line is not evident or located within the estuarine AEC, as defined by CAMA, lot coverage within the estuarine AEC shall not exceed 15 percent. Lot coverage allowances shall not be transferred from one portion of the lot to another. The area necessary for shared accessways in accordance with subsection 48-90(a) of this chapter shall be excluded from the total lot coverage allowance for an individual lot.
- g. In those instances where a Roanoke Sound dune ridge is not evident, no principal structure may be placed closer than 70 feet of the mean high water line. In those instances where an estuarine frontal dune is not evident, no principal structure may be placed closer than 50 feet of the mean high water line.

(3) For municipally owned government facilities not adjacent to estuarine waters or located within an AEC as defined by CAMA:



- a. Dimensional requirements of subsection [(f)(2) of this section] shall apply, except that lot coverage shall not exceed 20 percent of the total lot area.
- b. In the case of lots abutting estuarine waters (as defined by division of marine fisheries and used by CAMA), or located within the estuarine AEC, as defined by CAMA, lot coverage shall not exceed 15 percent. Lot coverage allowances shall not be transferred from one portion of the lot to another.
- c. The area necessary for shared access-ways of this chapter shall be excluded from the total lot coverage allowance for an individual lot.

(g) Special development standards, conditions and requirements.

(1) Site plan requirements. Development of a building site for any lawful use as authorized by this chapter shall require the submission of a site plan with proposed improvements for review and approval. This site plan shall be in addition to the requirement for a building permit.

- a. The site plan shall be drawn to at least a one inch to 40 feet scale and include at least

the following minimum requirements:

1. Existing topographical conditions of the lot showing at least two-foot contour intervals.
  2. Components of the groundwater recharge system including streams, ponds, marshes, dunes and lowlands, bay forests and wetland swales.
  3. Location and slope of any dunes with greater than 40 percent slope and height greater than eight feet.
  4. Direction of movement and location of any migrating dunes on or near the lot.
  5. Proposed building sites.
  6. All existing trees which are at least a 16-inch caliper at one foot above the ground within the proposed building site and within a 20-foot perimeter around the building site and within a five-foot perimeter around required accessways, parking areas, utility installation sites, cemeteries, hiking trails and accessory buildings.
  7. Areas where trees are to be removed.
  8. Specifications for the protection of existing trees during construction.
  9. Grade changes or other land disturbing activities or construction activities adjacent to trees which could adversely affect the health of the trees, with specifications on how the grade, drainage and aeration will be maintained around the trees.
  10. North arrow, scale, existing rights-of-way and easements.
  11. If required, an approved soil erosion and sedimentation control plan. 
  12. Proposed location of septic tanks and drainfields.
- b. The proposed building site shall be staked on the lot.
- c. All trees which are to be removed shall be clearly marked on-site with tape, paint, ribbon or other appropriate means.
- (2) Site design. The following design criteria shall be satisfied, except where the board of commissioners finds an alternative design scheme which provides equal or better performance standards regarding the intent of this chapter and to protect the natural features of the SED-80 district protected under this section:
- a. The filling or dredging of ponds or marshes or streams or wetland swales is prohibited unless permitted by CAMA or the Corps of Engineers.
  - b. The grading or other alteration of dunes with greater than 40 percent slope and height greater than eight feet is prohibited.
  - c. The removal of any tree with a caliper 16 inches or greater is prohibited, whether or not

## STAFF REPORT

**TO:** Planning Board

**FROM:** Kelly Wyatt, Deputy Planning Director and Zoning Administrator  
Andy Garman, Deputy Town Manager and Planning Director

**DATE:** December 13, 2016

**SUBJECT:** Update on revisions to the proposed zoning ordinance text amendment related to the review of structures with a total habitable area of 15,000 square feet or greater via the Conditional Use Process.

At its December 7, 2016 meeting the Nags Head Board of Commissioners held a Public Hearing to consider adoption of this zoning ordinance text amendment. At the meeting revisions recommended by the Town Attorney were presented to the Board. The Board of Commissioners voted unanimously to table a decision on this item to its January 4, 2017 meeting to provide the Board and the public more time to review the Town Attorney's revisions. The changes were deemed to be not substantial and therefore no further review or recommendation on the ordinance is required by the Planning Board. The Planning Board Chairman has placed this item on the agenda for discussion purposes only. Attached is the ordinance with the Town Attorney's revisions.

**AN ORDINANCE AMENDING THE CODE OF ORDINANCES  
OF THE TOWN OF NAGS HEAD, NORTH CAROLINA**

**ARTICLE I. Purpose(s) and Authority.**

**WHEREAS**, pursuant to N.C.G.S. § 160A-381, the Town of Nags Head (the "Town") may enact and amend ordinances regulating the zoning and development of land within its jurisdiction and specifically the location and use of buildings, structures and land. Pursuant to this authority and the additional authority granted by N.C.G.S. Chap. 160A, Art. 19 et. seq, the Town has adopted a comprehensive zoning ordinance (the "Town's Zoning Ordinance") and has codified the same as Chapter 48 of the Town's Code of Ordinances (the "Town Code"); and

**WHEREAS**, pursuant to N.C.G.S. § 160A-174 the Town may also enact and amend ordinances that define, prohibit, regulate, or abate acts, omissions, or conditions, detrimental to the health, safety, or welfare of its citizens and the peace and dignity of the Town; and

**WHEREAS**, a text amendment was initiated by the Planning Board at the request of the Board of Commissioners to require newly constructed commercial buildings with a ground floor habitable area of 15,000 square feet or greater be reviewed and approved via the Conditional Use process.

**WHEREAS**, larger buildings, by their nature, tend to generate more intense uses of property which can create land use and neighborhood compatibility issues as well as greater community impacts if not carefully planned. The conditional use permit process is designed to allow the town to consider a broad range of land use issues and place conditions on large development projects to ensure they meet community goals.

**WHEREAS**, the 2010 Land Use Plan states that the Town shall continue to address the community appearance concerns through various Boards and shall work towards developing incentives designed to enhance, promote and protect the Town's architectural image and heritage;

**WHEREAS**, the Town further finds that in accordance with the findings above it is not in the interest of and contrary to the public's health, safety, morals and general welfare for the Town to amend the Town's Zoning Ordinance and Town Code of Ordinances as stated below.

**ARTICLE II. Construction.**

For purposes of this ordinance amendment, underlined words (underline) shall be considered as additions to existing Town Code language and strikethrough words (~~strikethrough~~) shall be considered deletions to existing language. Any portions of the adopted Town Code which are not repeated herein, but are instead replaced by an ellipses ("...") shall remain as they currently exist within the Town Code.

**ARTICLE III. Amendment of Zoning Ordinance.**

NOW, THEREFORE, BE IT ORDAINED by the Board of Commissioners of the Town of Nags Head, North Carolina, that the Town Code shall be amended as follows:

PART I. That Section **48-407(c), Conditional Uses within the C-2, General Commercial District**, be amended as follows:

(29) Commercial structures with a total habitable area of 15,000 square feet or greater, subject to other requirements of this chapter and provided that all of the conditions set forth in Code Section 48-525(4) are met and that- the following additional conditions are met:Approval of the conditional use permit may be granted in whole or in part, and including appropriate conditions of approval if, from evidence presented at the public hearing, the following findings can be made:

a. That the site plan and proposed use is substantially compatible with the existing land uses and character of the surrounding area, including factors related to the location and orientation of buildings, site design, and operation.

b. That the overall project design retains, to the extent reasonably practical for the use, the retention of the site's existing topography, vegetation, and natural features has been given priority consideration in the overall project design.

~~b.c.~~ That the proposed use will be in harmony with the area in which it is located and be in general conformity with the Town's Land Use Plan.

~~e.d.~~ That traffic generated by the proposed development shall not create additional traffic safety hazards related to the proximity of driveway and curb cut access to adjacent driveways and intersections and that traffic is directed onto more heavily traveled roadways and away from residential neighborhoods.

~~d.e.~~ That the architectural design and aesthetic features of the proposed building(s) are compatiblecomply with the town's architectural design standards.

f. That the proposed use would not substantially injure the value of adjoining property or be a public necessity.

~~e.g.~~ That the proposed use would does-not generate intense-activity or other environmental conditions of such nature or intensity that would negatively affect the surrounding properties.

Formatted: Indent: Left: 1", No bullets or numbering

Formatted: Indent: Left: 1", No bullets or numbering

PART II. All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed. This ordinance shall be in full force and effect from and after the \_\_\_ day of \_\_\_ 2016.

\_\_\_\_\_  
Robert C. Edwards, Mayor  
Town of Nags Head

ATTEST:

\_\_\_\_\_  
Carolyn F. Morris, Town Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Town Attorney

Date adopted: \_\_\_\_\_

Motion to adopt by Commissioner \_\_\_\_\_

Motion seconded by Commissioner \_\_\_\_\_

Vote: \_\_\_\_\_ AYES \_\_\_\_\_ NAYS