



- AGENDA -

**Town of Nags Head Planning Board
Nags Head Municipal Complex Board Room
Tuesday, September 15th, 2020; 9:00 a.m.**

This meeting will be open to the public; however, the Zoom meeting platform will be used to broadcast the meeting live and members of the public will be able to view the meeting remotely using the Zoom platform or app on a computer or smartphone, or by calling in using a phone. Remote participation in the meeting, including Public Comment/Audience Response will not be permitted; those wishing to make comments at the meeting will need to attend the meeting in person to do so, or email comments to planning@nagsheadnc.gov

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A. Call To Order

B. Approval Of Agenda

C. Public Comment/Audience Response

D. Approval Of Minutes

August 18, 2020 Planning Board Meeting

Documents:

[AUGUST 18 2020 DRAFT MINUTES.PDF](#)

E. Action Items

1. Consideration Of Site Plan Review For

Islington Street Beach Access Improvements

Documents:

[ISLINGTON MEETING ITEMS.PDF](#)

F. Report On Board Of Commissioners Actions
September 2, 2020 BOC Meeting

Documents:

[SEP 2 2020 BOC ACTIONS.PDF](#)

G. Town Updates - As Requested

H. Discussion Items

1. August 26, 2020 Director's Report

Documents:

[MEMO PND DIRECTOR REPORT_8-26-2020.PDF](#)

I. Planning Board Members' Agenda

J. Planning Board Chairman's Agenda

K. Adjournment

**Town of Nags Head
Planning Board
August 18, 2020**

The Planning Board of the Town of Nags Head met in regular session on Tuesday August 18, 2020 in the Board Room at the Nags Head Municipal Complex.

Planning Board Chair Megan Vaughan called the meeting to order at 9:00 a.m. as a quorum was present.

Members Present

Megan Vaughan, Kristi Wright, Meade Gwinn, Gary Ferguson, David Elder, Molly Harrison, Megan Lambert

Members Absent

None

Others Present

Michael Zehner, Kelly Wyatt, Holly White, Lily Nieberding

Approval of Agenda

Chair Vaughan asked for a motion to approve the agenda. David Elder moved to approve as presented, Meade Gwinn seconded, and the motion passed unanimously.

Public Comment/Audience Response

None

Approval of Minutes

Chair Vaughan asked for a motion to approve the minutes of the July 21, 2020 meeting. David Elder moved to approve as presented, Kristi Wright seconded, and the motion passed unanimously.

Action Items

Consideration of text amendments to the UDO as it pertains to non-conforming hotels, and accessory uses in association with pre-existing fishing piers.

Planning Director Michael Zehner explained that this item was initially discussed at the Planning Board's meeting on February 18, 2020, with the Planning Board wishing to consider and discuss options further. The Planning Board discussed this item further at their meeting on May 19, where the Board requested that Staff explore options that did not require the creation of an overlay zoning district, and to present those options to the Board for consideration. Staff presented additional information to the Planning Board on June 16; at that time, the Board was supportive of the option presented by Staff that would make amendments to Article 5, Nonconformities, of the UDO, by providing nonconforming restaurants, hotels, or retail uses that commenced on or before December

31, 1980 with the option of seeking a conditional use permit to modify the use, including enlarging or altering the use, in a manner that would otherwise be precluded by the provisions of Sections 5.5. and/or 5.6. of the Article. At the meeting, the Board requested that Staff review and determine the specific instances where such a provision would be applicable.

Following the meeting, Staff conducted the review requested by the Board and came up with a list of hotels that were all nonconforming uses, all located with the CR, Commercial Residential Zoning District, and which may benefit from the provision under consideration.

Additionally, Staff determined that there were no restaurants or retail establishments that are considered to be a nonconforming use. However, related, Staff did determine that the presence of residential units in conjunction with the Nags Head Fishing Pier constituted a nonconforming use of the site, which may be something that the Board wished to address.

Staff presented the above information to the Board at their meeting on July 21. The Board agreed, given that the necessary scope of any treatment would only apply to nonconforming hotels, that it may be more appropriate to focus any amendments within Section 7.12, Hotels, of Article 7, Supplemental Regulations, similar to the treatment of nonconforming cottage courts.

Additionally, the Board requested that Staff also address the residential dwelling units accessory to the Nags Head Fishing Pier. Mr. Zehner also noted that upon further review they did remove from the list the second building of the Surfside Hotel which was found to be permitted as a multi-family dwelling.

It is helpful to consider that the general principle with respect to non-conformities is that, overtime, the non-conforming uses or conditions cease, evolving to conforming uses or conditions. Specifically, Sections 5.5, Nonconforming Use of Land, and 5.6, Nonconforming Use of a Structure, are limiting and jeopardize the preservation of these nonconforming uses. Mr. Zehner noted that his Staff memo details these limitations/impacts.

This effect, at least with respect to the identified nonconforming hotels and the Nags Head Fishing Pier, would therefore seem to be inconsistent with the intent of the goals, objectives, policies, and actions contained in the Comprehensive Plan which support the retention of legacy establishments and structures, especially in certain Character Areas along the beach road.

The impacts referenced above, specifically those contained in Sections 5.5 and 5.6, were the basis for the adoption of provisions in 2015 contained in Section 7.2.14 pertaining to nonconforming cottage courts. Similarly, the proposed text amendments, would add a Section 7.12.3. pertaining to existing nonconforming hotels, allowing a conditional use permit to be sought to modify the use and/or structure, including enlarging or altering the use and/or structure, in a manner that would otherwise be precluded by the provisions of Sections 5.5, Nonconforming Use of Land, or 5.6, Nonconforming Use of a Structure.

Additionally, and related, Section 7.50.1. pertaining to fishing piers is proposed to be amended to reference that dwelling units existing as of July 1, 2020 are an allowable use in conjunction with fishing piers, which would serve to remove the nonconforming use designation for the Nags Head Fishing Pier for this condition.

Staff would recommend that the amendments be adopted as proposed and Mr. Zehner noted he would be happy to answer any questions for the Board.

Mr. Zehner confirmed that as it relates to the Nags Head Fishing Pier the amendment only applies to the building with the two residential dwellings that are on the same parcel as the pier; it does not include the building to the north which is on a separate parcel. After some discussion, Mr. Zehner noted buildings tend to cross over property lines so it would make sense that they would view the two parcels as one site for zoning purposes.

Mr. Zehner responded to Mr. Ferguson that he was uncertain whether the Outer Banks Pier had a dwelling unit, but that if it does, the amendment would apply to that pier as well. Mr. Zehner noted that Staff would research further.

Mr. Ferguson stated that the Town has oceanfront hotels but no longer wants oceanfront hotels, yet they want to grandfather the existing oceanfront hotels. Mr. Ferguson noted that there is nothing in the ordinance that talks about historic preservation. Mr. Ferguson asked what is the Town doing to preserve these buildings that are important to the Town?

Mr. Zehner noted that they (the Town) do not have provisions like that town wide and thinks that it is a valid conversation to have but up to this point there hasn't been an interest in discussing a Landmark or Preservation ordinance that would dictate the design of any projects beyond current architecture controls that are in place.

Mr. Zehner explained that there have been businesses/structures demolished and single-family dwellings put in their place perhaps because of limitations imposed by the ordinance. The proposed ordinance would give the property owners flexibility and options to keep the business viable

Mr. Zehner reminded the Board that they previously discussed the difference between legacy businesses vs. legacy structures, how they are two separate things and how they could have one and not the other.

The Board discussed what preservation might look like but agreed that not all property owners might be interested in regulations that would require structures to be preserved, it would most likely be a voluntary process. Ms. Lambert also noted that in some cases the structures are so dilapidated they are impossible to preserve. This was the case of Restaurant by George, which was eventually demolished, and the property later redeveloped as single-family dwellings.

Mr. Ferguson also brought up the issue of fairness, not allowing any new oceanfront hotels yet allowing existing oceanfront hotels to stay and possibly evolve. Mr. Ferguson noted that zoning wise "there was something that was just not right about that". Mr. Ferguson suggested that the Town should simply develop rigorous standards to allow hotels in these areas.

Ms. Lambert disagreed noting that there are businesses and buildings all around town, not just on the ocean front that wouldn't be allowed now but that add to the charm of the town; the proposed ordinance helps protect what is currently there. Ms. Lambert noted that property owners doing appropriate due diligence should be aware of what zoning would and would not allow them to do with their property.

The Board discussed what would happen if the property was sold and if they would be allowed to rebuild in case of a hurricane. Mr. Zehner confirmed that the ordinance goes with the property. Mr. Zehner also noted, reiterated by Holly White, Principal Planner, that as far as rebuilding, CAMA and the Flood Ordinance would also come into play.

After some further discussion, Meade Gwinn moved to recommend approval of the text amendments as submitted. Molly Harrison seconded the motion and it passed with a vote of 6 to 1 with Gary Ferguson casting the nay vote.

Consideration of text amendments to the UDO as it pertains to fill regulations for properties west of NC 12 and/or 1243 subject to a Base Flood Elevation.

Deputy Planning Director Kelly Wyatt explained that following the adoption of the Flood Damage Prevention Ordinance by the Board of Commissioners on June 3, 2020, Staff identified two necessary amendments to the text related to fill regulations applicable to properties west of NC12 and SR 1243 and subject to a Base Flood Elevation.

Ms. Wyatt explained that the first is a simple re-numbering to correct a typographical area. The second however, is a more substantive change to the regulations to address an unintended consequence associated with significant reduction of the Base Flood Elevation, whereby fill is currently limited to not exceed the Base Flood Elevation but it may be necessary for the Dare County Health Department to require fill in excess of the Base Flood Elevation.

Section 11.5.3 of the Unified Development Ordinance addresses limitations on the utilization of fill based upon a property's location being either east or west of NC 12 and SR 1243. For properties west of NC 12 and SR 1243 for which the Flood Insurance Rate Map (FIRM) provides a Base Flood Elevation, fill shall not be permitted to exceed the Base Flood Elevation.

It was recently brought to Staff's attention for one property currently under development (and which will likely affect other west-side properties) that the Dare County Health Department requirements for fill placement for the wastewater facilities requires fill to exceed the newly established Base Flood Elevation.

The situation that Staff is aware of is as follows:

- The parcel was in an AE-11 (Base Flood Elevation of 11') flood zone and is now in an AE-4.
- The average ground elevation on this lot is approximately 2.5'.
- The ordinance allows fill to be placed to the Base Flood Elevation, therefore, pursuant to current regulations, fill could not exceed 4'.
- The Dare County Health Department evaluation for wastewater improvement requires the septic field to be elevated 30 inches, bringing the lot elevation up to 5 feet, 1 foot greater than what the UDO would permit.

As written, this section of the Unified Development Ordinance does not adequately address the scenario where fill required for the wastewater permit would exceed the established Base Flood Elevation. Generally, this is the result of the significant change in the Base Flood Elevation and did not present issues previously. The proposed amendment would remedy this situation by specifically allowing lots to fill to the Base Flood Elevation or the minimum amount of fill required by the Dare County Health Department, whichever is greater. Additionally, this will be consistent with fill requirements in areas where the FIRM provides no Base Flood Elevation.

Staff recommends that the amendments be adopted as proposed.

After a brief discussion, David Elder moved to recommend approval of the text amendments as presented. Meade Gwinn seconded the motion and it passed by unanimous vote.

Report on Board of Commissioners Actions

Planning Director Michael Zehner gave a report on the Actions from the Board of Commissioner's August 5th Meeting. Of note, the Board approved the waivers for the proposed Coastal Villas Subdivision and also approved the Coastal Villas Subdivision Plat as presented; it was Board consensus to pursue the National Endowment for the Arts – Our Town grant for the Town's skate park located at the YMCA; Mr. Zehner discussed with the BOC the possibility of a joint workshop between the Commissioners and the Planning Board regarding stormwater, but it was the consensus of the Commissioners discuss further at their upcoming retreat; Mr. Zehner updated the Board with the latest census numbers; the Board extended the Dowdy Park part-time manager position through the last scheduled Farmers Market plus two weeks.

Town Updates

None

Discussion Items

July 24, 2020 Director's Report

Mr. Zehner presented his Director's Report to the Board. This report was shared with the Commissioners at the August 5th Meeting. The report provides an overview of selected Planning and Development Department activities, projects, and initiatives. In addition to permitting, inspections, code enforcement, and Todd D. Krafft Septic Health Initiative activities, the report also covers meetings and other activities of note that Planning Staff were involved with during the previous month. Along with permitting numbers and permit turnaround times, Mr. Zehner also discussed the impact of the Coronavirus on Permitting numbers.

Planning Board Members' Agenda

None

Planning Board Chairman's Agenda

None

Adjournment

A motion to adjourn was made by David Elder. The time was 9:58 AM.

Respectfully submitted,

Lily Campos Nieberding



MEMORANDUM
Town of Nags Head
Planning & Development Department

To: Planning Board
From: Kelly Wyatt, Deputy Planning Director
Michael Zehner, Director of Planning and Development
Date: September 11, 2020
Subject: Islington Street Beach Access Site Plan

GENERAL INFORMATION

Applicant: Town of Nags Head.

Application Request: Site Plan Review.

Purpose: Consideration of improvements to the Islington Street Beach Access to include an asphalt drive aisle with turfstone parking stalls, stormwater management measures, above grade decking with showers, and wooden walkway to connect to the existing walkway and stairs to the beach. These improvements are partially funded through a grant from the North Carolina Division of Coastal Management.

Property Location: 0 E. Islington Street.

Existing Land Use: Vacant, unimproved pedestrian path with portion of wooden walkway.

Zoning Classification of Property: R-2, Medium Density Residential Zoning District.

Zoning Classification of Surrounding Properties: All properties surrounding this site are zoned R-2, Medium Density Residential and are developed residentially.

Flood Hazard Zone of Property: NFIP FIRM Maps indicate that three flood zones span this property: Shaded X, AO and per the Town of Nags Head local RFPE, the VE 12. There are no enclosed structures requiring elevation within the proposed scope of work.

Land Use Plan Map/Policies: The 2017 Comprehensive Plan Future Land Use Map classifies this property as Residential and is located within the South Nags Head Character Area Development Plan. Below is the description of the Residential classification and pertinent excerpts from the Character Area:

The Residential designation is intended to accommodate low-density, single family residential.

Section 2.7.2A Appropriate Land Uses states, "Appropriate land uses in South Nags Head are predominately single-family residential development. Certain institutional and municipal areas are also appropriate under the right conditions such as the Nags Head Fire Station and municipal beach access facilities".

Staff finds this proposal to be consistent with the Residential Land Use Classification.

SPECIFIC INFORMATION

Applicable Zoning Regulations:

- Use Regulations: Pursuant to Section 6.6 of the Unified Development Ordinance, Table of Permitted Uses and Activities, "Public Beach/Sound Access/Bathhouse" is a permitted use within the R-2, Medium Density Residential Zoning District.
- Lot Coverage: Total allowable lot coverage for this site is 33%. Proposed lot coverage is 32.9% therefore lot coverage is compliant.
- Height: The scope of work involves construction of parking facilities, above grade decking with shower facilities and elevated wooden walkways with stairs to the beach. There are no proposed structures to be regulated by the maximum height.
- Architecture Design Standards: No architectural design standards apply to this proposed scope of work.
- Parking: There is no minimum parking requirement for this use; however, 11 parking spaces have been proposed, including 2 handicap accessible parking spaces.

Additionally, Section 10.92.14.4 requires a minimum of 20% of the surface area of the parking area and drive aisles to be constructed using permeable surface materials. An excess of 20% has been provided and is therefore compliant.

- Buffering/Landscaping: A compliant five-foot-wide Buffer Yard C has been provided along the perimeter of the northern and southern property lines adjacent to residential uses. In addition to maintaining the existing and mature black pines, numerous native ornamental grasses and flowering plants are to be installed.
- Lighting: One light fixture has proposed at the eastern extent of the parking area. A light audit will be conducted to ensure that light intensity does not exceed medium level activity illumination standards.
- Signage: This access will be signed in compliance with Town and CAMA standards as with all other public beach access.

Water and Sewage Disposal: No facilities requiring water and sewage disposal are being proposed.

Stormwater Management: Adequate stormwater management measures have been designed by the Town Engineer.

Traffic Circulation: Compliant traffic circulation has been designed by the Town Engineer.

Fire: The Project will be required to comply with all applicable NC Fire Prevention Code requirements as part of building permit application review and issuance. The Fire Department has reviewed and approved the proposed site plan as presented.

Public Works: Public Works has reviewed and approved the proposed site plan as presented.

CAMA: A CAMA Minor Permit is required for this proposed use and must be issued prior to zoning or building permit issuance.

ANALYSIS & STAFF RECOMMENDATION

Staff finds that the proposal is consistent with the applicable use and development standards, as well as relevant land use policies. Staff recommends approval of the site plan as presented.

Attachments: *Application and Plan Set.*



TOTAL PROPOSED SQUARE FOOTAGE _____ x .50 = \$ _____ +

(Optional) VESTED RIGHT (\$200.00)

= TOTAL FEE DUE _____

**TOWN OF NAGS HEAD
SITE PLAN REVIEW APPLICATION & CHECKLIST**

DATE RECEIVED _____

1. LOCATION AND ZONING INFORMATION

- A. PROJECT TITLE Islington Street Beach Access Improvements
- B. STREET ADDRESS O.E. Islington Street
- C. SUBDIVISION _____
LOT(S) _____ BLOCK _____ SECTION _____
- D. PRESENT ZONING R-2, Medium Density Residential
- E. PRESENT USE Vacant, Pedestrian Walkway
- F. EXISTING NONCONFORMITIES None
- G. ABUTTING PROPERTY ZONING R-2, Medium Density Residential
- H. ABUTTING PROPERTY USE Residential

2. CERTIFICATION AND STANDING

A. As applicant of standing of the above named project, I certify that the information on this checklist and the site plan is complete and accurate.

OWNER AGENT CONTRACT
PURCHASER

- B. APPLICANT/DEVELOPER: NAME Town of Nags Head
ADDRESS P.O. Box 99
Nags Head, NC 27959
TELEPHONE 252-441-5508
- C. CONTACT PERSON: NAME David Ryan, P.E.
ADDRESS P.O. Box 99
Nags Head, NC 27959
TELEPHONE 252-441-5508

3. ADJACENT OWNERSHIP INFORMATION (TO BE SHOWN ON SITE PLAN)

- NAME/ADDRESS (N) Michael Callis; 1200 Wellstone Cir, Apex, NC 27502
- NAME/ADDRESS (S) Roger Baker; P.O. Box 90232 Raleigh, NC 27675
- NAME/ADDRESS (E) Atlantic Ocean
- NAME/ADDRESS (W) _____

(If additional space is needed, please attach separate sheets.)

4. **SITE PLAN AND SITE PLAN ATTACHMENT DATA**

A. Site plan preparer David Ryan P.E Phone # 252-441-5508
 NC Registered Engineer Architect Surveyor. License # _____

B. The design for the attached Stormwater Management Plan includes:

- 1.5", 2-hour rainfall: retained on-site.
- 4.3", 2-hour rainfall: no important access or health-related impacts.
- 5.0", 2-hour rainfall: no unapproved impacts.

Drainage calculations have been prepared YES NO ATTACHED YES NO

Note: Stormwater Management Plan MUST be approved by the Town Engineer prior to Planning Board review for all listed permitted uses in the zoning ordinance.

C. Sewage disposal approval is being submitted in the form of: n/a

- Attached tentative approval letter dated _____
- Attached final permit dated _____
- State County

D. Project involves condominium ownership. n/a

NO YES, Three copies of condominium documents attached.

E. Amount of land-disturbing activity proposed _____ square feet.

A Soil Erosion and Sedimentation Control Plan has been prepared.

- NO YES; (1) Copy attached,
 (2) Copy submitted to Dare County Soil Conservation Service, Manteo NC 27954.

F. Coastal Area Management Act (CAMA) permit. YES NO

5. **INFORMATION TO BE SHOWN ON SITE PLAN**

Twelve (12) copies for Planning Board review

	YES	COMMENTS
A. Property and ownership		
1. Present recorded owner and map book/cabinet reference of the site property.		
2. Current PIN Number.		
3. Current site address.		
4. Owners' names, lot numbers or map book and page reference of all adjacent property owners.		
5. Boundary of the entire parcel by course and distance.		
6. Widths of the existing rights-of-way that abut the site.		
7. Nature or purpose, location and size of existing easements.		
8. At all lot corners, points of tangents and any angle point along a given course of the site, iron pins minimum 3/8-inch diameter or 4x4-inch concrete monuments.		
9. Plan to at least 1"=50' scale, showing north arrow and whether true or magnetic.		
10. Signature and seal of preparer.		
B. Existing features		
1. Streets, curbs, and sidewalks with type and width of pavement.		
2. Topographic features of site and existing grades for any streets, storm drainage system including existing grades at four corners of all structures.		
	YES	COMMENT

3. Flood zone(s) as determined by latest FEMA Flood Insurance Rate Map, with notation, "flood zone subject to change by FEMA."
4. All underground utilities and facilities including gasoline tanks and existing septic facilities (including tanks and fields).
5. The location of any marsh areas, estuarine waters, or US Army Corps of Engineers 404 wetlands protection within or abutting the lot.
6. If the lot is within an ocean hazard Area of Environmental Concern, the location of the first line of stable natural vegetation, the CAMA setback line, and contour lines at 2-foot intervals depicting any dunes located within an oceanfront AEC that are to be disturbed by construction.
7. If the lot is within the small surface water supply watershed AEC (within 1,200 feet from the Fresh Water Pond), the distance between the pond and proposed septic or sewage treatment system.
8. Percentage of site to be undisturbed and included in calculation for compliance with vegetation preservation ordinance Section 48-371.

C. Site improvements in accordance with regulations of state of North Carolina, Dare County, and Town of Nags Head

1. Proposed building type (e.g., concrete or frame), number of floors and dimensions.
2. Proposed building elevations for all sides of building labeled in accordance with proposed architectural design criteria of Section 48-370.
3. Total height and number of stories of proposed structure(s). If increased height is being proposed in conjunction with increased setbacks, show increase allowed in tabular form on plan. Note definition of height in Section 48-7 of Town Code of Ordinances.
4. Existing and proposed ground elevations at the corners of proposed structure(s).
5. Sanitary sewer facilities with connection to sewer system or septic tank.
6. Approximate locations of proposed underground utilities and any necessary easements.
7. Screened dumpster pad(s) accessible to left-side loaders and sized in accordance with the Town Code of Ordinances.
8. Proposed fire hydrants and extensions of water distribution lines in accordance with size and density requirements found in Section 48-363 of the Town Code of Ordinances.
9. Location and height of proposed free-standing signs. See requirements of Chapter 48 Article VIII of the Town Code of Ordinances.
10. Location of all sidewalks, curbs, drives, and parking within the site and proposed finished elevations.
11. Handicapped parking spaces, walks, ramps, and entrances shown in accordance with the NC State Building Code. Include a Handicapped sign detail.
12. The Vegetative Buffer Yard areas have been identified and the proper buffer yard provision(s) have been identified (i.e. Buffer Yard A, B,C,D,E as outlined in Chapter 48 Article XIII of the Town of Nags Head Code of Ordinances).
13. Layout of numbered stalls/loading zones in accordance with Chapter 48 Article V of the Town Code of Ordinances.

Commercial
Residential

Parking Spaces
Required

Parking Spaces
Shown

Loading
Spaces

_____ STORIES			
BUILDING SQUARE FOOTAGE:			
PRINCIPAL _____	n/a	11	0
ACCESSORY _____		(2 ADA)	
TOTAL _____			
# EMPLOYEES <u>n/a</u>			
# DWELLING/LODGING UNITS <u>n/a</u>			

D. EXPLANATORY NOTES

1. Vicinity map.
2. Total square feet of land area to undergo land-disturbing activity.
3. The total required parking spaces versus the total parking spaces provided. Parking spaces to be numbered.
4. Cross-sectional details of all streets, roads, ditches, and parking lot improvements.
5. The number of dwelling/commercial units. If more than one use is proposed (e.g., large hotel with shops, etc.), show breakdown of units or square footage by building.
6. If additional height above 35 feet is being proposed, the additional height and increased setbacks shall be laid out in tabular form.
7. Total site coverage calculations. (Refer to Zoning Ordinance to calculate lot coverage for lots abutting ocean or sound.)
8. Components of the lighting plan (pole location, pole height, type of fixture, wattage, source of illumination, etc.). See Chapter 48 Article IX of the Town Code of Ordinances.
9. A completed architectural points worksheet for commercial structures subject to residential design criteria.

6. PLAN AND ATTACHMENT PREPARER CERTIFICATION

A. I certify that all information for which I am responsible is complete and accurate.

DATE

SIGNATURE OF ENGINEER ARCHITECT SURVEYOR

B. The following individuals have contributed information or attachments to the plan:

Name	Phone #	Information provided
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

Site Specific Development Plan Option - Vested Right for Site Plans

Please be advised that as the owner, or agent for the owner, you have the opportunity to apply for and receive a Site Specific Development Plan that will establish a Vested Right for this project for a period of time not to exceed two (2) years from the date the Board of Commissioners approves the plan. You must secure a building permit for this project within two (2) years of the approval date or your Site Specific Development Plan will expire. If you elect not to apply for a Site Specific Development Plan, you must secure a building permit within six (6) months or else your site plan will expire.

If you choose the Site Specific Development Plan option, please keep in mind the following concerns:

1. Although your project may be classified as a permitted use, by requesting a Site Specific Development Plan your project will be processed as a Conditional Use for which a public hearing will be held, and an additional fee of \$200.00 will be charged to process your application.
2. Once your Site Specific Development Plan has been approved with vested rights status no modifications can be made to the plan.

If you wish to take advantage of the Vested Right process please check off the Vested Right box on page one. If you do not then leave the box blank.



LOT 1
MACRAE BEACH
P.C. 8, SL 76

LOT 2
MACRAE BEACH
P.C. 8, SL 76

LOT 3
MACRAE BEACH
P.C. 8, SL 76

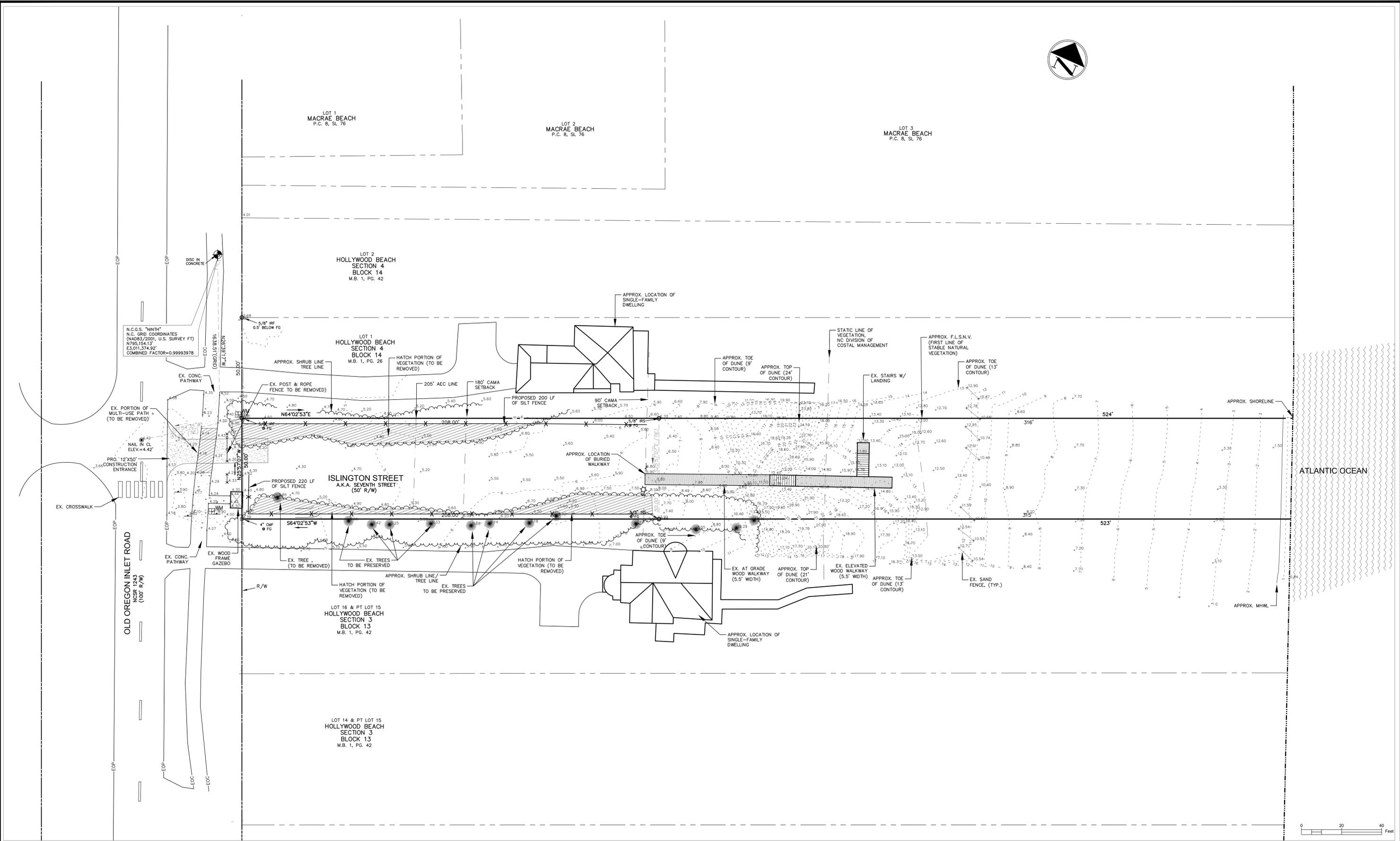
LOT 2
HOLLYWOOD BEACH
SECTION 4
BLOCK 14
M.B. 1, PG. 42

LOT 1
HOLLYWOOD BEACH
SECTION 4
BLOCK 14
M.B. 1, PG. 26

LOT 16 & PT LOT 15
HOLLYWOOD BEACH
SECTION 3
BLOCK 13
M.B. 1, PG. 42

LOT 14 & PT LOT 15
HOLLYWOOD BEACH
SECTION 3
BLOCK 13
M.B. 1, PG. 42

N.C.G.S. "NNM"
N.C. GRID COORDINATES
(NAD83/2011, U.S. SURVEY FT)
N795,154.13'
E3,011,374.92'
COMBINED FACTOR=0.99993978



NO.	DATE	REVISION DESCRIPTION	APPD.

NAME	DATE
DRAWN BY:	
DESIGNED BY:	
CHECKED BY:	



"PRELIMINARY- DO NOT USE FOR CONSTRUCTION"
THIS DOCUMENT'S ORIGINALY ISSUED ON JULY 29, 2020 BY DAVID M. RYAN, P.E. THIS MEDIUM SHALL NOT BE CONSIDERED A CERTIFIED DOCUMENT

TOWN OF NAGS HEAD
TOWN OF NAGS HEAD
DEPARTMENT OF ADMINISTRATION
P.O. BOX 99
NAGS HEAD, NC 27959
252.441.6221 • www.nagsheadnc.gov

CAPITAL IMPROVEMENT PROJECT FY 20/21
ISLINGTON ST. BEACH ACCESS

DRAWING TITLE:
EXISTING CONDITION PLAN

DRAWING NO.: C-2
SHEET NO.: SHEET C2 OF 4

SCALE: 1" = 20' (24"X36")
ISSUE DATE: 7/29/2020



LOT 1
MACRAE BEACH
P.C. 8, SL. 76

LOT 2
MACRAE BEACH
P.C. 8, SL. 76

LOT 3
MACRAE BEACH
P.C. 8, SL. 76

LOT 2
HOLLYWOOD BEACH
SECTION 4
BLOCK 14
M.B. 1, PG. 42

LOT 1
HOLLYWOOD BEACH
SECTION 4
BLOCK 14
M.B. 1, PG. 42

LOT 16 & PT LOT 15
HOLLYWOOD BEACH
SECTION 3
BLOCK 13
M.B. 1, PG. 42

LOT 14 & PT LOT 15
HOLLYWOOD BEACH
SECTION 3
BLOCK 13
M.B. 1, PG. 42

OLD OREGON INLET ROAD
NSR 1243
(100' R/W)

ATLANTIC OCEAN



NO.	DATE	REVISION DESCRIPTION	APPD.

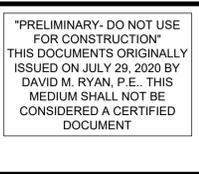
NAME	DATE
DRAWN BY:	
DESIGNED BY:	
CHECKED BY:	



NOTES:
 ADDRESS: E. ISLINGTON ST.
 PROPERTY PIN: 071913232743
 RECORD INFO: MB 1, SL. 26 D.C.R.
 ZONING: MR - MEDIUM RESIDENTIAL
 LOT AREA = 35,938 SF (0.80 AC)
 AREA WEST OF STATIC LINE = 14,778 SF / 0.34 AC (COORD.)
 SITE COVERAGES:
 ASPHALT PAVEMENT = 3234 SF
 WOOD DECKS = 1210 SF (excluded from calcs)
 CONCRETE AREA = 632 SF
 TURFSTONE AREA = 1002 SF (66%)
 TOTAL = 4,868 SF (32.9% SITE COVERAGE)
 SITE PARKING:
 11 DEFINED PARKING SPACES (INCLUDES 2 HC SPACES)

LOT SUBJECT TO EASEMENTS & COVENANTS OF RECORD.
 PROPERTY SUBJECT TO A FULL AND ACCURATE TITLE SEARCH.
 LOTS MAY BE IN AN AREA OF ENVIRONMENTAL CONCERN. PROPERTY IS LOCATED IN F.I.R.M. ZONE "VE" (EL. 1412111) AS SHOWN ON COMMUNITY PANEL # 3730071800J INDEX DATED: 9/20/08 & SUBJECT TO CHANGE BY F.E.M.A. HORIZONTAL DATUM BASED ON NAD 83, VERTICAL DATUM BASED ON NAVD 88.
 PHYSICAL SURVEY PREPARED BY COSTAL ENGINEERING & SURVEYING INC., DATED 1/8/19, PROJ. NO. S3104.18

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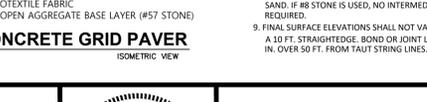
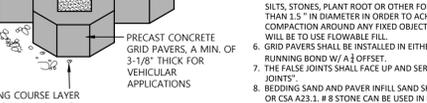
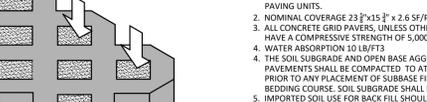
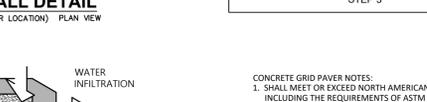
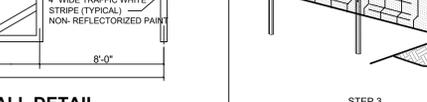
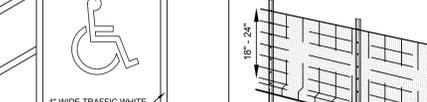
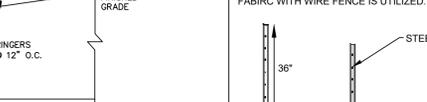
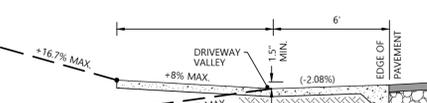
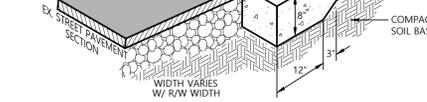
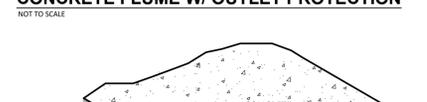
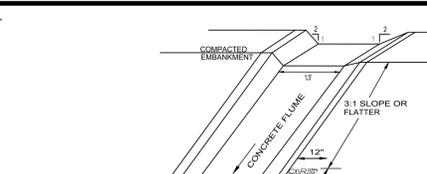
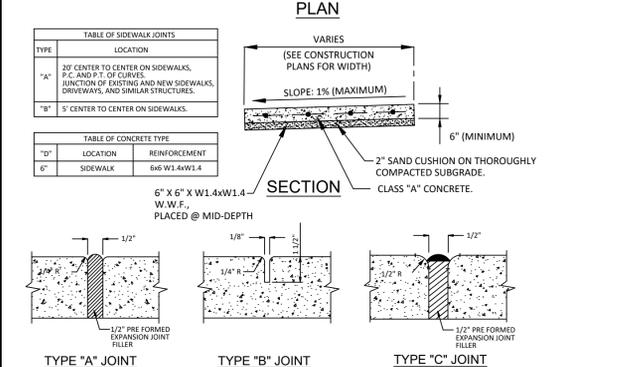
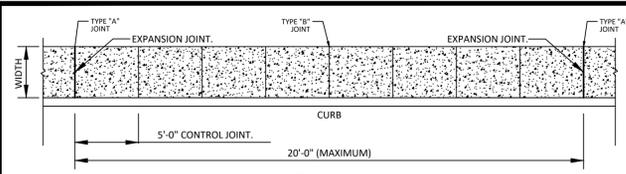
TOWN OF NAGS HEAD
 DEPARTMENT OF ADMINISTRATION
 P.O. BOX 99
 NAGS HEAD, NC 27959
 252.441.6221 • www.nagsheadnc.gov

CAPITAL IMPROVEMENT PROJECT
 FY 20/21
 ISLINGTON ST. BEACH ACCESS

SCALE: 1" = 20' (24"x36")
 ISSUE DATE: 7/29/2020

DRAWING TITLE:
SITE DEVELOPMENT PLAN

DRAWING NO.: C-3
 SHEET NO.: SHEET C3 OF 4



6.06

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

Definition A gravelled area or pad located at points where vehicles enter and leave a construction site.

Purpose To provide a buffer area where vehicles can drop their mud and sediment to avoid transporting it onto public roads, to control erosion from surface runoff, and to help control dust.

Conditions Where Practice Applies Whenever traffic will be leaving a construction site and moving directly onto a public road or other paved off-site area. Construction plans should limit traffic to properly constructed entrances.

Design Criteria Aggregate Size—Use 2-3 inch washed stone.

Dimensions of gravel pad—
 Thickness: 6 inches, minimum.
 Width: 12-foot minimum or full width at all points of the vehicular entrance and exit area, whichever is greater.
 Length: 50-foot minimum.

Location—Locate construction entrances and exits to limit sediment from leaving the site and to provide for maximum utility by all construction vehicles (Figure 6.06a). Avoid steep grades, and entrances at curves in public roads.

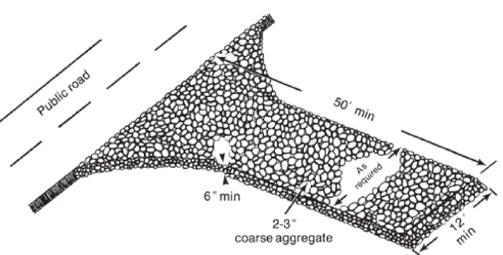
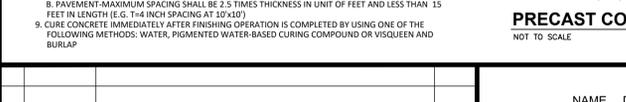
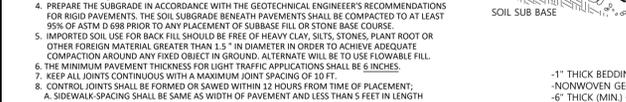
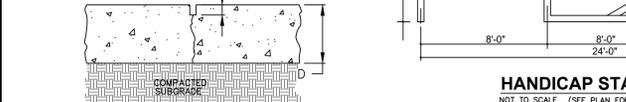
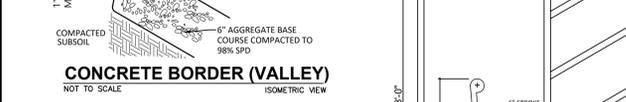


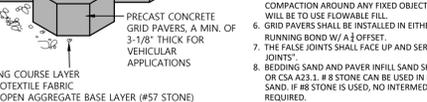
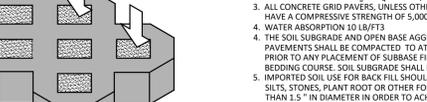
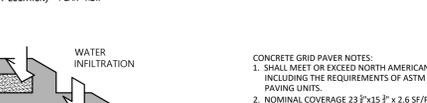
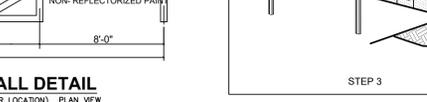
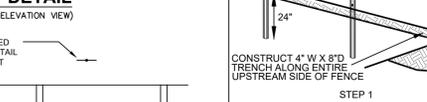
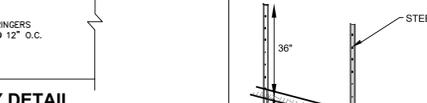
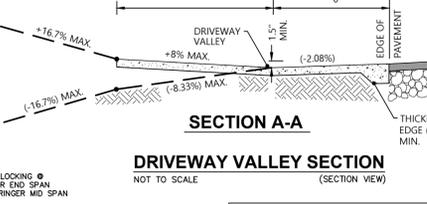
Figure 6.06a Gravel entrance/exit keeps sediment from leaving the construction site (modified from Va SWCC).

CONCRETE PATHWAY INSTALLATION DETAILS

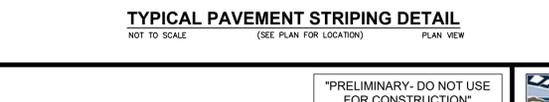
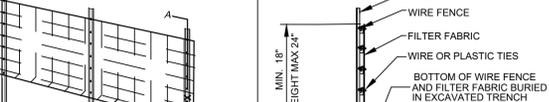
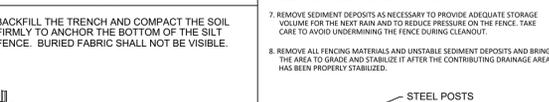
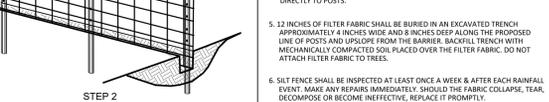
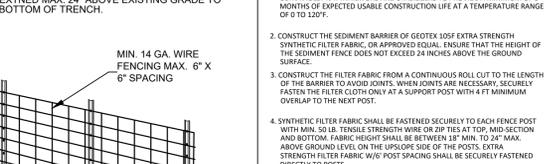
- 1. PATH SHALL HAVE A 4" MINIMUM THICKNESS
- 2. ALL PATHWAYS WILL BE CONSTRUCTED A MINIMUM OF 5 FEET WIDE
- 3. ALL CONCRETE USED FOR PATHWAYS SHALL BE A MINIMUM OF 3,500 PSI
- 4. PATHWAYS SHALL FORM A CONTINUOUS PATH ALONG ALIGNMENT



DRIVEWAY VALLEY SECTION



CONCRETE BORDER (FLAT)



SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- PROPOSED AREAS TO BE DISTURBED CONSIST OF PORTIONS OF JACOB STREET. THE WORK GENERALLY CONSISTS OF THE DEVELOPMENT OF A PUBLIC BEACH ACCESS CONSISTING OF ASPHALT DRIVES, TURFSTONE PARKING STALLS, WOOD FRAMED DUNE WALKOVER AND ASSOCIATIVE DEVELOPMENT ACTIVITIES.
- 1. AFTER ACCEPTANCE OF ALL PROJECT WORK, AND FULL ESTABLISHMENT OF PERMANENT VEGETATION, CONTINUED MAINTENANCE OF PERMANENT VEGETATION SHALL BE THE RESPONSIBILITY OF OWNER.
- 2. PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES, FOLLOWING COMPLETION OF ANY PHASE OF GRADING, AND A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN THE TIME FRAMES SET FORTH IN THE GROUND STABILIZATION TIME REQUIREMENTS PROVISIONS IN THE LOWER RIGHT CORNER OF THIS SHEET. IF SAID ACTIVITIES OCCUR OUTSIDE TEMPORARY VEGETATION SEEDING DATES (APRIL 1 THRU SEPT 30) THE TEMPORARY VEGETATION SEEDING SPECIFICATIONS SHALL BE FOLLOWED FOR PLANTING UNTIL THE NEXT APPROPRIATE PERMANENT SEEDING PERIOD, AT WHICH TIME PERMANENT VEGETATION SHALL BE ESTABLISHED ACCORDING TO PERMANENT VEGETATION SEEDING SPECIFICATIONS (SEE PERM AND TEMP SEEDING SPECIFICATIONS THIS SHEET).
- 3. IF EXCESSIVE WIND EROSION OR STORM WATER RUNOFF EROSION DEVELOPS DURING TIME OF CONSTRUCTION IN ANY LOCATION ON THE PROJECT SITE, ADDITIONAL SAND OR SILT FENCING SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR LOCAL GOVERNING OFFICIAL SO AS TO PREVENT DAMAGE TO ADJACENT PROPERTY. SEE SAND AND FENCE DETAIL THIS SHEET.
- 4. SOIL EROSION AND SEDIMENTATION CONTROLS TO BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY UNTIL PERMANENT VEGETATION OR OTHER EFFECTIVE STABILIZATION IS ESTABLISHED.

GENERAL CONSTRUCTION NOTES

- 1. ACCESS TO SITES SHALL BE BY PUBLIC RIGHT-OF-WAYS AND UTILITY EASEMENTS. OTHER ACCESS LOCATIONS REQUIRED SHALL BE SECURED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. SUPPLEMENTAL EROSION CONTROL MEASURES SHALL BE REQUIRED TO INCLUDE CONSTRUCTION ENTRANCES, SILT FENCING, RESTORATION, ETC. ADDITIONAL MEASURES SHALL BE INCLUDED AS PART OF A SUPPLEMENTAL EROSION CONTROL PLAN PREPARED BY THE CONTRACTOR.
- 2. THE CONTRACTOR WILL PROVIDE THE CONSTRUCTION STAGING AREA AT OWNER'S EXPENSE.
- 3. THE CONTRACTOR IS EXPECTED AND REQUIRED TO COOPERATE WITH THE PROPERTY OWNERS AFFECTED BY THE WORK.
- 4. CONTRACTOR SHALL MAINTAIN A NEAT AND CLEAN JOB-SITE TO INCLUDE STAGING/STORAGE AREAS AS FOLLOWS: PERFORM DUST CONTROL BY WATERING DAILY OR AS DIRECTED BY THE ENGINEER. SWEEP STREETS A MINIMUM OF ONCE DAILY (FRIDAY OR AS DIRECTED BY THE ENGINEER). BLADE, LEVEL AND RE-COMPACT ALL EXPOSED TRENCHES WEEKLY (OR AS DIRECTED BY THE ENGINEER) TO PRODUCE A SMOOTH "RIDE". PERFORM DAILY CLEAN-UP OF ALL DIRT, DEBRIS AND SCRAP MATERIALS. REMOVE EXCESS EQUIPMENT, MATERIALS, TOOLS, ETC. NOT NEEDED.
- 5. EXCESS SUITABLE SOIL EXCAVATED DURING CONSTRUCTION SHALL BE STOCKPILED FOR USE ON THE PROJECT OR DISPOSED OF OFF-SITE AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL NOT BE ALLOWED TO STOCKPILE MATERIALS OR EXCESS MATERIALS IN THE STREET RIGHT-OF-WAYS AT ANY TIME. THE CONTRACTOR SHALL PROVIDE A SUFFICIENT AND SUITABLE STOCKPILE AREA AND LOCATION AT THE CONTRACTOR'S EXPENSE.
- 6. CONTRACTOR SHALL PROVIDE MEASURES DURING CONSTRUCTION TO SECURE THE SITE AND EXCAVATION FROM THE GENERAL PUBLIC AND COMPLY WITH ALL OSHA REGULATIONS. JOB SITE SAFETY IS THE EXCLUSIVE AND SOLE RESPONSIBILITY OF THE CONTRACTOR. OPEN EXCAVATION LEFT UNATTENDED OR OVER NIGHT IS NOT ACCEPTABLE AND SHALL BE FILLED IMMEDIATELY.
- 7. CONTRACTOR SHALL REPAIR OR REPLACE DRIVES DISTURBED BY CONSTRUCTION TO EXISTING OR BETTER CONDITIONS. NO SEPARATE PAYMENT UNLESS OTHERWISE INDICATED.
- 8. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING WHERE FENCES ARE REMOVED FOR CONSTRUCTION. CONTRACTOR SHALL COORDINATE FENCE REMOVAL OR REINSTALLATION WITH INDIVIDUAL PROPERTY OWNERS PRIOR TO REMOVAL. CONTRACTOR SHALL REINSTALL ALL SIGNS, FENCES, ETC. TO AS GOOD OR BETTER THAN EXISTING CONDITIONS UNLESS OTHERWISE INDICATED. (NO SEPARATE PAYMENT).
- 9. CONTRACTOR SHALL REPLACE ALL DISTURBED MAILBOXES, SIGNS, ETC. DISTURBED DURING CONSTRUCTION WITHIN 24 HOURS OF DISTURBANCE. PERMANENT ROAD SIGNAGE DISTURBED SHALL BE REPLACED IMMEDIATELY AND IF NECESSARY ROADWAY SIGNS SHALL BE TEMPORARILY INSTALLED IN A LOCATION CONSISTENT WITH THE MUTCD TO PROVIDE CONTINUOUS TRAFFIC AWARENESS OF ROADWAY CONDITIONS. (NO SEPARATE PAYMENT).
- 10. CONTRACTOR SHALL PROVIDE SECURITY FENCING, SECURITY GUARD, AND ANY AND ALL OTHER MEASURES CONTRACTOR DEEMS NECESSARY TO PROTECT EQUIPMENT AND MATERIALS STORED ON THE PROJECT. (NO SEPARATE PAYMENT).
- 11. WHERE CONTRACTOR CEASES WORK OPERATIONS FOR A 72 HOUR PERIOD OR LONGER, SUCH AS HOLIDAYS, ETC., THE FOLLOWING SHALL BE ACCOMPLISHED PRIOR TO THE WORK STOPPAGE: A. CONTRACTOR SHALL STORE ALL EQUIPMENT IN THE CONTRACTOR STAGING AREA OR OFF-SITE. B. THE CONTRACTOR SHALL SWEEP ALL STREETS, PERFORM GENERAL CLEANUP AND SHALL PERFORM MAINTENANCE ON ALL EXPOSED PATCHES.
- 12. CONTRACTOR SHALL SCHEDULE WORK AND MATERIAL DELIVERIES SO THAT STORED MATERIAL QUANTITIES ON THE JOB SITE SHALL BE MINIMIZED.
- 13. CONTRACTOR SHALL STORE ALL MATERIALS IN THE CONTRACTOR STAGING AREA 72 HOURS PRIOR TO INCORPORATING INTO THE WORK TO REDUCE OBSTRUCTIONS TO TRAFFIC AND INCONVENIENCE TO RESIDENTS. WHERE UTILITIES ARE BEING CONSTRUCTED IN EASEMENTS OUT OF TRAFFIC AREAS CONTRACTOR MAY STORE MATERIALS AHEAD OF CONSTRUCTION FOR A DISTANCE NOT GREATER THAN 1800 FEET UNLESS APPROVED OTHERWISE BY THE ENGINEER.
- 14. AT THE PROPERTY OWNER'S REQUEST, THE CONTRACTOR SHALL DIG UP EXISTING SHRUBS AND BUSHES WITHIN RIGHT-OF-WAY TO BE DISTURBED BY CONSTRUCTION AND SET OUTSIDE THE UTILITY EASEMENT AREA IN A LOCATION DETERMINED BY THE PROPERTY OWNER (NO SEPARATE PAYMENT). PROPERTY OWNER WILL BE RESPONSIBLE FOR REPLANTING SHRUBS AND BUSHES SO REMOVED, AND SHALL BE RESPONSIBLE FOR REESTABLISHING GROWTH. IF NO REQUEST IS MADE BY THE PROPERTY OWNER, DISTURBED SHRUBS AND BUSHES SHALL BE REMOVED AND DISPOSED OF OFF-SITE UNLESS OTHERWISE INDICATED.
- 15. CLEARINGS AND GRUBBING SHALL BE RESTRICTED TO PERMANENT EASEMENTS AND RIGHTS-OF-WAYS ONLY. EXCEPT FOR TEMPORARY EASEMENTS, CLEARINGS, BETWEEN HOUSES AND ALONG PROPERTY LINES TO ONLY ABSOLUTELY NECESSARY FOR CONSTRUCTION.

SEEDING SPECIFICATIONS

PERMANENT VEGETATION		TEMPORARY VEGETATION	
SEEDING DATES: APRIL 1 - SEPTEMBER 30		SEEDING DATES: OCTOBER 1 - MARCH 31	
SEED MIXTURE	APPLICATION RATES/ACRE	SEED MIXTURE	APPLICATION RATES/ACRE
Bahia	50 lbs	Rye Grain	175 lbs
Common Bermuda (Inbred)	50 lbs	FERTILIZER	
German Millet	15 lbs	10-10-10 @ 1,000 lbs/acre	
Fescue	20 lbs	MULCH	
FERTILIZER		Apply 4,000 lbs/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	
26-13-13 @ 500 lbs/acre			

GENERAL FERTILIZER:

RATES SHOWN ARE GENERAL RECOMMENDATIONS; FREQUENCY AND AMOUNT OF FERTILIZATION CAN BEST BE DETERMINED THROUGH SITE SPECIFIC SOIL TESTING.

MAINTENANCE: SATISFACTORY STABILIZATION AND EROSION CONTROL REQUIRES A COMPLETE VEGETATIVE COVER. EVEN SMALL BREACHES IN VEGETATIVE COVER CAN EXPAND RAPIDLY AND, IF LEFT UNATTENDED, CAN ALLOW SERIOUS SOIL LOSS FROM AN OTHERWISE STABLE SURFACE. A SINGLE HEAVY RAIN IS UNENOUGH TO GREATLY ENLARGE BARE SPOTS, AND THE LONGER REPAIRS ARE DELAYED, THE MORE COSTLY THEY BECOME. PROMPT ACTION WILL KEEP SEDIMENT LOSS AND REPAIR COST DOWN. NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED IN RE-SEEDING, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.

MAINTENANCE REQUIREMENTS EXTEND BEYOND THE SEEDING PHASE. (UNTIL FULL COMPLETION IS DECLARED) WEAK OR DAMAGED SPOTS MUST BE RE-LIMED, FERTILIZED, MULCHED, AND RE-SEEDING AS PROMPTLY AS POSSIBLE. REFERTILIZATION AND/OR WATERING MAY BE NEEDED TO FULLY ESTABLISH VEGETATIVE COVER.

- ⊗ E & S Measures, except where otherwise noted, are to be installed before work begins and maintained until work is fully stabilized.
- ⊙ 1 Measure required during Phase 1 only.
- ⊙ 2 Measure not to be provided until Phase 2.

SECTION II - STORMWATER POLLUTION PREVENTION REQUIREMENTS IN THE NC CONSTRUCTION GENERAL PERMIT

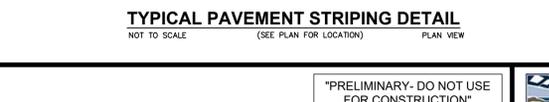
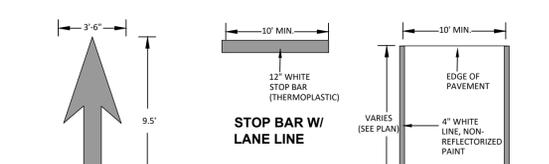
- 2) GROUND STABILIZATION
 - A) SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:
 - i) ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
 - B) CONDITIONS - IN MEETING THE STABILIZATION REQUIREMENTS ABOVE, THE FOLLOWING CONDITIONS OR EXEMPTIONS SHALL APPLY:
 - i) EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE UNPRACTICABLE.
 - ii) ALL SLOPES 5:1 IN LENGTH OR GREATER SHALL APPLY THE PERMITTING AUTHORITY WITHIN 7 DAYS EXCEPT WHEN THE SLOPE IS FLATTER THAN 4:1. SLOPES LESS THAN 5:1 SHALL APPLY GROUND COVER WITHIN 14 DAYS EXCEPT WHEN SLOPES ARE STEEPER THAN 4:1. THE 7-DAY REQUIREMENT APPLIES.
 - iii) ANY SLOPED AREA FLATTER THAN 4:1 SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT EXCEPT WHEN THE SLOPE IS STEEPER THAN 2:1.
 - iv) ALTHOUGH STABILIZATION IS USUALLY SPECIFIED AS GROUND COVER, OTHER METHODS, SUCH AS CHEMICAL STABILIZATION, MAY BE ALLOWED ON A CASE-BY-CASE BASIS.
 - v) FOR PORTIONS OF PROJECTS WITHIN THE SEDIMENT CONTROL COMMISSION-DEFINED "HIGH QUALITY WATER ZONE" (SEA NAGS HEAD TRAIL), STABILIZATION WITH GROUND COVER SHALL BE ACHIEVED AS SOON AS PRACTICABLE BUT IN ANY EVENT ON ALL AREAS OF THE SITE WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACT. PORTIONS OF A SITE THAT ARE LOWER IN ELEVATION THAN ADJACENT DISCHARGE LOCATIONS AND ARE NOT EXPECTED TO DISCHARGE DURING CONSTRUCTION MAY BE EXEMPT FROM THE TEMPORARY GROUND COVER REQUIREMENTS IF IDENTIFIED ON THE APPROVED EASO PLAN OR ADDED BY THE PERMITTING AUTHORITY.

CONCRETE GRID PAVES NOTES:

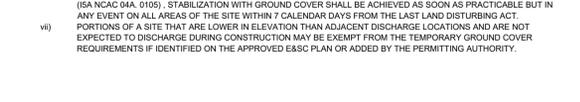
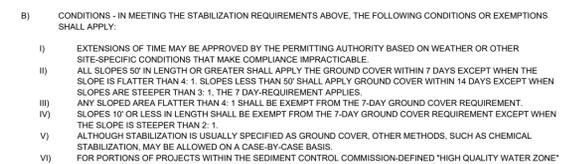
- 1. SHALL MEET OR EXCEED NORTH AMERICAN INDUSTRY STANDARDS, INCLUDING THE REQUIREMENTS OF ASTM C 1315 FOR CONCRETE GRID PAVING UNITS.
- 2. NOMINAL COVERAGE 23 1/2" x 15 1/2" x 2 1/2" 5/8" PC.
- 3. ALL CONCRETE GRID PAVERS, UNLESS OTHERWISE INDICATED, SHALL HAVE A COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS.
- 4. WATER ABSORPTION 10% LB/FT³.
- 5. THE SOIL SUBGRADE AND OPEN BASE AGGREGATE BENEATH PAVEMENTS SHALL BE COMPACTED TO AT LEAST 98% OF ASTM D 698 PRIOR TO ANY PLACEMENT OF SUBBASE FILL OR STONE BASE COURSE.
- 6. IMPORTED SOIL USE FOR BACK FILL SHOULD BE FREE OF HEAVY CLAY, SILTS, STONES, PLANT ROOT OR OTHER FOREIGN MATERIAL GREATER THAN 1.5" IN DIAMETER IN ORDER TO ACHIEVE ADEQUATE COMPACTION AROUND ANY FIXED OBJECT IN GROUND. ALTERNATE WILL BE TO USE FLOWABLE FILL.
- 7. THE MINIMUM PAVEMENT THICKNESS FOR LIGHT TRAFFIC APPLICATIONS SHALL BE 6 INCHES.
- 8. KEEP ALL JOINTS CONTINUOUS WITH A MAXIMUM JOINT SPACING OF 10 FT.
- 9. CONTROL JOINTS SHALL BE FORMED WITHIN 24 HOURS FROM TIME OF PLACEMENT.
- 10. SIDEWALK SPACING SHALL BE SAME AS WIDTH OF PAVEMENT AND LESS THAN 5 FEET IN LENGTH.
- 11. PAVEMENT MAXIMUM SPACING SHALL BE 2.5 TIMES THICKNESS IN UNIT OF FEET AND LESS THAN 15 FEET IN LENGTH (E.G. 1.5 INCH SPACING AT 10 FT).
- 12. CURE CONCRETE IMMEDIATELY AFTER FINISHING OPERATION IS COMPLETED BY USING ONE OF THE FOLLOWING METHODS: WATER, PIGMENTED WATER-BASED CURING COMPOUND OR VISQUELEN AND BURLAP.



TYPICAL SILT FENCING DETAIL



TYPICAL PAVEMENT STRIPING DETAIL



NO.	DATE	REVISION DESCRIPTION	APPD.

NAME	DATE
DRAWN BY:	
DESIGNED BY:	
CHECKED BY:	



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CAPITAL IMPROVEMENT PROJECT
 FY 20/21
 ISLINGTON ST. BEACH ACCESS

DRAWING TITLE: CONSTRUCTION & EROSION & SEDIMENT CONTROL DETAILS	DRAWING NO.: C-4	SHEET NO.: SHEET C4 OF 4
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SCALE(S) NOTED (24"x36")
 ISSUE DATE: 8/10/2020

N.C.G.S. "NINTH"
 N.C. GRID COORDINATES
 (NAD83/2001, U.S. SURVEY FT)
 N795,154.13'
 E3,011,374.92'
 COMBINED FACTOR=0.99993978

LOT 1
 HOLLYWOOD BEACH
 SECTION 4
 BLOCK 14
 M.B. 1, PG. 42

LOT 16 & PT LOT 15
 HOLLYWOOD BEACH
 SECTION 3
 BLOCK 13
 M.B. 1, PG. 42

LOT 14 & PT LOT 15
 HOLLYWOOD BEACH
 SECTION 3
 BLOCK 13

OLD OREGON INLET ROAD
 NCSR 1243
 (100' R/W)

1638.51'(GRID)
 N26°39'17"W

50.00'

WM

N64°02'53"E

208.00'

NATIVE PLANTINGS

5/8" IRS
 @ FG

NAIL IN CL
 ELEV.=4.42'

S51°51'35"W
 51.19' (THE)

50.00'

N25°57'07"W

WM

4" CME
 @ FG

S64°02'53"W

208.00'

NATIVE PLANTINGS

5/8" IRS
 @ FG

S25°57'07"E (LINE)

50.00'

R/W

LEGEND

SYMBOL	PLANT AND QUANTITY	NOTES:
	PANICUM VIRGATUM 54 (Panic grass)	INSTALL DRIP IRRIGATION ALONG LANDSCAPED AREAS WITH BACKFLOW VALVE PREVENTER SPEC AS PER CODE
	YUCCA FILAMENTOSA 29 (Yucca)	
	GALLARDIA 28 (Blanketflower)	INCLUDE 3" MULCH IN LANDSCAPED AREA
	EXISTING BLACK PINE	

0 20 40 Feet

NO.	DATE	REVISION DESCRIPTION	APPD.

NAME	DATE
DRAWN BY:	
DESIGNED BY:	
CHECKED BY:	

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"PRELIMINARY- DO NOT USE
 FOR CONSTRUCTION"
 THIS DOCUMENTS ORIGINALLY
 ISSUED ON JULY 29, 2020 BY
 DAVID M. RYAN, P.E. THIS
 MEDIUM SHALL NOT BE
 CONSIDERED A CERTIFIED
 DOCUMENT

TOWN OF NAGS HEAD
 DEPARTMENT OF ADMINISTRATION
 P.O. BOX 99
 NAGS HEAD, NC 27959
 252.441.6221 • www.nagsheadnc.gov

CAPITAL IMPROVEMENT PROJECT
 FY 20/21
 ISLINGTON ST. BEACH ACCESS

DRAWING TITLE:
LANDSCAPE PLAN

SCALE: 1" = 20' (24"x36")
 ISSUE DATE: 7/29/2020

DRAWING NO.: C-3 SHEET NO.: SHEET C5



**TOWN OF NAGS HEAD
BOC ACTIONS
SEPTEMBER 2, 2020**

1. Call to order - Mayor Cahoon called the meeting to order at 9:00 a.m.
2. Agenda - The Board passed a motion that agenda item E-6 entitled: *Request for Public Hearing to consider text amendments to the UDO pertaining to nonconforming hotels and accessory uses in association with preexisting fishing piers* be removed from the agenda and the September 2nd agenda was approved as amended.
3. Recognition - Facilities Maintenance Supervisor Mike Norris introduced Stormwater & Streets Technician Bobby Hooper who was congratulated for five years of service.
4. Public Comment - The following spoke in favor of extending the Dowdy Park Farmers Markets and in continuing to fund the Dowdy Park Event Coordinator part-time position: Kerry Oaksmith-Sanders, Peggy Saporito, Chris Carrol, Samantha Lock, Ginny Flowers, Chris Sawin, Valerie Netsch, David Elder, Karen Brown (spoke on behalf of Denise Turner).
5. Consent Agenda - The Consent Agenda was approved as amended (with removal of the agenda item re: Request for Public Hearing to consider nonconforming hotels and accessory uses in association with preexisting fishing piers) and consisted of the following items:

Consideration of Budget Adjustment #3 to FY 20/21 Budget
Consideration of Tax Adjustment Reports (New Year and Monthly)
Approval of minutes
Consideration of request from Fraternal Order of Eagles to conduct 2020 bonafide fishing tournament
Consideration of Health Reimbursement Arrangement Plan Maintenance Agreement for Town Mgr
Consideration of Business Associate Agreement for Town Mgr
Request to modify Consolidated Fee Schedule for Post-Season Per Farmers Market Vendor fee
6. Dominion Energy presentation - Rob Richardson of Dominion Energy presented a powerpoint report which included information on the installation of electric transmission lines on US 158 and included an update on pole replacement on the Nags Head/Manteo Causeway. Some highlights include:

a) Dominion Energy staff are in the early stages of researching a Feasibility Study of installation of electric transmission lines on US 158; the purpose is to establish alternative electric transmission lines to be used in case of outages due to storms, etc.; b) Causeway pole replacement project is missing easements from Oceans East and Kitty Hawk Kites; c) Comr. Renée Cahoon would like to see the US 158 poles installed underground. She also asked for a map clarifying exactly where the lines from the Colington tap will be located; d) Feasibility Study is to include studying underground poles on US 158 as well as underwater installation.
7. Public Hearing - The Board passed a motion to adopt the ordinance amending the UDO that would allow for lots west of NC12 and SR1243 which have a Base Flood Elevation (located in an AE

zone) to have fill added up to a height required by the Dare County Health Department for onsite wastewater, as presented.

Planning staff is to review the email forwarded last night to Board members from Jay Overton of Albemarle & Associates concerning this item - and to forward their analysis to Board members.

8. Public Hearing - The Board passed a motion to adopt the ordinance providing clarification changes and correcting errors in the Unified Development Ordinance, as presented.

9. Public Hearing - The Board recused Mayor Cahoon from the discussion re: a Unified Development Ordinance text amendment to allow furniture stores as an allowable use as part of Commercial Mixed Use uses as he represented the applicant in his position with Cahoon & Kasten, Architects. The Board passed a motion to adopt the ordinance amendment as presented.

10. Planning Director - the Planning Director's update was presented to the Board; some highlights: a) It was Board consensus to agree with Planning Director Zehner that he ask for volunteers for an advisory group/steering committee to assist in guiding the Town's Decentralized Wastewater Management Plan update to be brought to the Board for consideration of appointment at an upcoming meeting; b) In response to Mayor Cahoon, Director Zehner said that he would check with Code Compliance Officer Ed Snyder and work with Public Information Officer Roberta Thuman to issue a press release re: campaign/voting signage.

11. Committee Reports

Comr. Brinkley – Jennette's Pier Advisory Group – Director of the Pier, Mike Remige, reported to Comr. Brinkley that 18,000 visitors visited the Pier during the month of June 2020. Direct access to the Pier is being allowed with social distancing for fishing.

Comr. Fuller – Dare County Tourism Board (DCTB) – the Grants Committee meets on September 9th; Visitation to the Wright Brothers Memorial visitation is very low but the Hatteras campgrounds are full.

12. Police Dept - Presentation of Police Dept Progress Report - Police Chief Phil Webster presented a powerpoint presentation which was well received.

13. Town Manager - The Board approved the Town Organizational Chart as presented.

14. Town Manager - The Board approved the proposed modification to the Personnel Policy re: approval of job descriptions/pay class plan as presented.

15. Town Manager - The Board passed a motion to authorize staff to apply for Dare County Tourism Board - Tourism Impact Grants (Sidewalk from US 158 to Wrightsville Avenue at Admiral Street and Skate Park renovations) as requested.

16. Comr. Renée Cahoon - The Board adopted the resolution in support of the J-1 Visa Exchange Visitor program with the following modification: Revise paragraph "1." to read as follows:

"Petitions the White House and Trump Administration to issue a National Interest Exemption for Economic Recovery during the next 60-Day Review, concluding on September 22, 2020, as provided by Section 3(b)(iv) and 4(a)(i) of the Presidential Proclamation of June 22, 2020;"

Board members directed staff to forward the executed resolution to the Resort Towns and Cities organization and Dare County/municipalities recommending it be adopted – in addition to forwarding it to the legislature listed in the resolution.

17. Comr. Brinkley - Comr. Brinkley thanked Dep Town Clerk Michelle Gray for forwarding the change in voting location for Nags Head residents to Board members and employees noting that he had also recently received a notice in the mail. He asked Public Information Officer Roberta Thuman to issue a press release to this effect.

18. Comr. Brinkley - Comr. Brinkley thanked all those that spoke today during Public Comment in favor of the Dowdy Park Farmers Market.

19. Comr. Fuller - Comr. Fuller clarified with staff that Dewberry Surveying is surveying on US 158 on behalf of Dominion Energy.

20. Comr. Fuller - He emphasized that while several departments may maintain the Town's parks/facilities/skateboard park, responsibility for everything related to each individual site should be with just one person.

21. Mayor Pro Tem Siers - he spoke in support of the comments made by other Board members.

22. Comr. Renée Cahoon - she asked the Board to consider how to address trash pick-up services on the west side of US 158 so that they have a consistent level of service.

23. Comr. Renée Cahoon - she noted that there may be some mis-information concerning the Dowdy Park Farmers Market as no one wants to stop the Farmers Market and the entire budget to include the part-time position will be re-addressed. Staff was directed to prepare a two-paragraph email from Board members responding to those that spoke today with information concerning the Farmers Market to include that it will be continuing through this month.

24. Mayor Cahoon - Mayor Cahoon asked the Town Clerk to locate an email he prepared after the January 2020 Board Retreat where he shared some thoughts concerning community values/vision to be forwarded to Board members and Interim Town Manager Sparks.

25. Closed Session - The Board entered Closed Session to discuss various legal matters within attorney/client privilege to include Beach Nourishment Project Condemnations and to discuss confidential personnel matters. The time was 11:58 a.m.

26. Open Session - The Board re-entered Open Session at 12:38 p.m.

27. Adjournment - The Board recessed to the Board Retreat at the Villas Clubhouse on Wednesday, September 23rd at 9:00 a.m. The time was 12:41 p.m.



MEMORANDUM

Town of Nags Head

Planning & Development Department

To: Board of Commissioners
Planning Board

From: Michael Zehner, Director of Planning & Development

Date: August 26, 2020

Subject: Planning and Development Director's Report (G-1)

This memo provides an overview of selected Planning and Development Department activities, projects, and initiatives. If requested, Staff will be prepared to discuss any of this information in detail at the Board of Commissioners meeting on September 2, 2020.

Monthly Activity Report

Attached for the Board's review is the *Planning and Development Monthly Report for July 2020*. In addition to permitting, inspections, code enforcement, and Todd D. Krafft Septic Health Initiative activities, Staff was involved in the following meetings or activities of note during the month:

- Wednesday, July 1 - Board of Commissioners Meeting
- Thursday, July 2 - Farmers Market
- Wednesday, July 8 - Arts & Culture Committee Meeting
- Thursday, July 16 - Farmers Market
- Tuesday, July 21 - Planning Board Meeting
- Thursday, July 23 - Farmers Market
- Thursday, July 30 - Farmers Market

Impact of Coronavirus on Permitting

The following information was contained in the Report dated July 24, 2020; at this time, unless the boards wish to be provided with continued updates, Staff will discontinue this specific reporting, focusing instead on providing the standard quarterly reports on permitting:

As previously reported, a total of 67 building permits (non-trade) were applied for in both March 2020 and March 2019. In April, 48 building permits were applied for in both 2020 and 2019. In May, 57 building permits were applied for in 2020, while 48 were applied for in 2019. Finally, in June, 48 permits were applied for in 2020, while 39 were applied for in 2019. Since March 16 through July 23, 215 permits were applied for in 2020 compared to 194 in 2019.

With regard to trade permits, a total of 469 were issued in March through June of 2019, and a total of 300 were issued during the same period in 2020.

Short-Term Rental Registration Update

A total of 69 properties were registered as short-term rentals in 2019; as of August 25, 2020, 32 of these properties were registered in 2020. As of the same date, 98 additional properties were newly registered in 2020. A total of 167 properties are currently registered as short-term rentals.

Properties registered in 2019 have until September 1, 2020 to register to continue to maintain compliance. Unregistered short-term rentals being rented or offered for rent would be in violation of the Town's regulations. Emails were sent on July 21, 2020 to owners of properties registered in 2019, reminding them of the need to renew registrations by September 1, 2020. Additionally, on July 27, 2020, postcards were mailed to owners of approximately 300 properties determined from Dare County records as likely qualifying as short-term rentals. Staff will continue efforts to identify and register active short-term rentals within Town. So far, 40 properties have been registered as short-term rentals that were not previously identified as rentals on Dare County's records.

Through the administration of the registration program, Staff has determined that it may be necessary to seek an amendment of the provisions to specifically exempt cottage court units managed by a single entity from being required to register as short-term rentals. Staff understands that it was the intent that these units, which operate more closely to hotels/motels, would not require registration, and has therefore not been requiring these units to be registered. However, Staff would recommend that this be clarified within the Town Code.

Camping Provisions

As the Board of Commissioners may recall, amendments to the Town's camping provisions were approved on July 1, 2020 to clarify the prohibition on the use of vehicles for camping within Town. At that time, members of the Board suggested that it may be worthwhile to revisit the provisions at a later date to ensure that they were consistent with expectations. Staff will work with the Town Manager's Office to schedule a future discussion on the provisions.

Update of Decentralized Wastewater Management Plan

As part of the project to update the Town's Decentralized Wastewater Management Plan, it is contemplated that an Advisory Team or steering committee would be formed to assist in guiding the project and the work of the consultant. If the Board of Commissioners agree, Staff would like to begin seeking volunteers for consideration by the Board at a future meeting. The RFQ seeking qualified consultants was released on August 14, 2020, with responses due September 30, 2020.

NFIP Community Rating System Audit

For the last several months, Staff has been preparing information in advance of the 5-Year Cycle audit for the Town's participation in the Community Rating System. The Community Rating System (or CRS) is part of the National Flood Insurance Program (NFIP), and is a voluntary incentive program that recognizes and encourages

community floodplain management activities that exceed the minimum program requirements. As a result, flood insurance premium rates are discounted to reflect the reduced flood risk resulting from the community actions meeting the three goals of the CRS:

1. Reduce flood damage to insurable property;
2. Strengthen and support the insurance aspects of the National Flood Insurance Program; and
3. Encourage a comprehensive approach to floodplain management

Planning Board - Pending Applications and Discussions

The August 18, 2020 meeting of the Planning Board was held in person without use of the Zoom platform as the meeting was not considered an electronic meeting pursuant to the Town's policy and applicable State statutes. The agenda included consideration of a text amendment to address nonconforming hotels and preexisting uses in conjunction with fishing piers, and a text amendment to address fill regulations for properties west of NC 12 and/or 1243 and subject to a Base Flood Elevation.

The Planning Board's next meeting is scheduled for September 15, 2020. At this time, the agenda is expected to include consideration of a conditional use permit application for the Dream Center property contingent upon the text amendment regarding Furniture Stores as an allowable use as part of Commercial Mixed-Use uses.

As the Board is aware, a request has been submitted from the Outer Banks Realtors asking that consideration be given to allowing live broadcast and/or remote participation in Planning Board meetings. Staff will be working with the Town Manager's Office, the Planning Board Chair, and the Town Attorney to determine how best to accommodate this request.

Additional Updates

- **2020 Census** - As previously indicated, the number/percentage of vacant vacation/rental homes in Town would skew the response rate recognized by the Census, as the rate is not adjusted at this time to account for those homes. Dare County has begun releasing the information on the rate depicting more accurate response rates based upon the number of occupied homes in the various communities. Based upon this methodology, the Town's response rate as of August 17, 2020 has been determined to be 87.39%, up from 85.46% on July 20, 2020, and up from 83.91% on June 23.

A previously reported, Census enumerators will be working within the community to seek completion of the Census from nonresponse addresses. Collection of Census responses will cease on September 30, 2020.

- **Town Workforce Housing Study & Plan** - Phase 1 Report presented to the Board of Commissioners at the February 5, 2020 meeting. Further action on this project is on hold pending direction from the Board of Commissioners; however,

it is important to note that funds associated with this project were liquidated due to budgetary constraints associated with the Covid-19 Pandemic.

- **Skate Park Renovation - Phase 1** - Staff is working to finalize a survey to determine community preferences for any future renovation of the Skate Park. Staff has also discussed the project with the Arts & Culture Committee, who are supportive of incorporating public art within the Park. As previously reported, Staff finalized submission of an application for the National Endowment for the Arts Our Town Grant on August 18, 2020, seeking funds to design and develop plans for a future renovation of the Skate Park.
- **CAMA Land Use Plan Update** - As previously noted, on July 15, 2020, Staff received further comments on the revised submission pertaining to the completeness of the Plan based upon CAMA requirements. Staff submitted a further revised Plan in response to the comments on August 20, 2020. A determination of Plan completeness is required before further review is initiated.
- **UDO Reference Manual & Permitting Workflow** - Staff continues to develop Reference Manual materials, including identifying and refining workflows, to be brought to the Board of Commissioners for approval at a later date.
- **Art Masts** - As previously noted, the Art Mast project, coordinated with the Arts & Culture Committee, has resulted in four completed art panels. The Arts & Culture Committee continues to discuss the locations for the new Art Masts, and is considering installations beginning at Bonnet Street and ending in the Gallery Row District. Staff is awaiting a proposal from a sign company to identify the best way to install the masts.
- **Decentralized Wastewater Master Plan** - As noted above, an RFQ seeking proposals from consultants was released on August 14, 2020, with responses due September 30, 2020.
- **Islington Street Beach Access** - Subject to DCM/CAMA and CIP funds to improve the access, Staff will be working to prepare plans for permitting. Staff anticipates the site plan to be reviewed initially at the September or October Planning Board meeting.
- **Jacob Street Beach Access** - Construction of this project is complete and Staff is working with DCM staff to close out the grant.
- **Legacy Establishments/Structures** - As previously noted, Staff had been working with the Planning Board on this initiative, with the focus narrowed to pertain to nonconforming hotels, as well as fishing pier properties that include residential units, also a nonconforming condition. The Planning Board considered and recommended adoption of a text amendment at their August meeting, and consideration of the scheduling of a public hearing is on the Board of Commissioners consent agenda for the meeting on September 2, 2020.

- **Dowdy Park Farmer's Market** - The last scheduled date for the Market is Thursday, August 27. However, given expressed interest from vendors, the extended season, and staffing availability, Staff is working to determine whether a Market will be held on Thursday, September 3. Staff has been enforcing masking and other protocols to ensure the public's health and safety.
- **Permitting/Online Permitting** - Staff had previously contacted representatives of the Outer Banks Home Builders Association to coordinate a schedule for a workshop/forum for the building community. However, given current circumstances, this effort has been placed on hold. Staff is considering developing a series of videos in the interim.

Staff has begun an email distribution to contractors registered with the Town to provide updates on changes to permitting and inspection procedures associated with the Coronavirus Pandemic and response. Similar updates in the future are expected to be made on a more regular schedule and Staff will likely transition to using the News Flash feature on the Town's website.

As previously reported, as of May 8, 2020, online permitting has been activated for all residential and commercial building and trade permit types. As noted in the FY19-20 3rd and 4th Quarter Permitting Report, Staff will continue to work to make improvements to the platform, publicize the availability of the resource, refine documents providing guidance to the Town's customers, and develop protocols for records management in support of the platform.

- **Grants and Assistance**
 - Staff had submitted a request under the Hazard Mitigation Grant Program (Tropical Storm Michael) to update the Town's Emergency Operations Plan. Staff learned that funding under that event was no longer being considered, but that the request was being considered under funding decisions related to Hurricane Dorian.
 - Staff submitted a Letter of Interest ("LOI") under the Hazard Mitigation Grant Program related to Hurricane Dorian for the acquisition of property, and assisted Fire Chief Wells in the submission of an LOI for replacement of a generator; we have been notified that the generator request has been selected for further consideration, and have also learned that the request for funds for property acquisition also continues to be considered.
 - A final application for a National Fish and Wildlife Foundation - National Coastal Resilience Fund grant to develop an Estuarine Shoreline Management Plan was submitted in July 2020. Additionally, an application was submitted for the 2020 North Carolina Attorney General Environmental Enhancement Grant for the same project. Staff anticipates learning the status of these applications by the end of September 2020.

- As noted, Staff submitted a final application for the National Endowment for the Arts Our Town Grant on August 18, 2020 seeking funds to prepare designs for the renovation of the Town's Skate Park.

- **Academic/NGO Projects**

As the boards are likely aware, the Outer Banks and Town are the subject of numerous academic and general research projects. We felt it important to provide an overview of the active projects involving the Town in some degree, as follows:

- 2020 OBX Field School and UNC-CSI Capstone Project

The OBX Field School, along with the UNC-CSI Capstone Project, are coordinated through the Coastal Studies Institute. Kicking off the Fall 2020 Semester, Department Staff along with Town Engineer David Ryan were invited to join the UNC Field School on their Water Tour on August 12, 2020. Mr. Ryan and Holly White provided students with an overview of the Town's Comprehensive Plan and challenges related to groundwater, septic health management, stormwater, and water quality. The students concluded their time with Town Staff with a trip to the groundwater lowering wells near the Barnes Street Park.

In conjunction with the Field School, the Planning Department will virtually host an intern this semester. Brianna "Bri" Thompson is a junior at UNC double majoring in Environmental Studies and Public Policy. She also has an interest in art and design that will assist her in her project with the Town. Bri will work on developing social media messaging and general outreach materials for the stormwater, septic health, and floodplain management programs.

As part of the UNC-CSI Capstone Project, students will perform water sampling at several locations in Nags Head throughout the semester to monitor bacteria and optical brighteners. Their work last year suggested that the groundwater lowering systems, managed by the Town, are having an added benefit to improved water quality; additional research will be conducted to investigate this further. Lastly, students will develop and conduct a survey to resident and non-residential property owners to assess their knowledge and awareness, attitudes/risk perceptions, and behaviors/practices regarding septic systems. Previous work, and this semester's work, will benefit the forthcoming update of the Town's Decentralized Wastewater Management Plan.

- C-CoAST - The Collaboratory for Coastal Adaptation over Space and Time (C-CoAST)

A Research Coordination Network (RCN) funded by the National Science Foundation (NSF) to address grand challenges in coastal resilience. Developed coastal environments are shaped by interactions between human activities and natural processes. Mitigation and recovery strategies

that promote adaptation at the time scale of storm events can be counterproductive over longer timescales. A series of collaborative activities will integrate coastal researcher, stakeholder, and practitioner expertise, building capacity for a comprehensive understanding of the human-natural coastal system. This will enable the potential for steering away from future outcomes that communities may want to avoid, and toward outcomes they deem more desirable.

This network is working to develop a hub which will ultimately provide funding for project implementation for both researchers and practitioners. Dare County was identified as a pilot community in which virtual listening session and a community meeting will be held. Staff's role is limited to providing feedback as a sounding board for ideas and connection to local stakeholder groups.

- ECU Groundwater Study

This project was initiated in 2019, intended to measure and identify changes in groundwater levels within the Town and the causes. There is to be a related focus on impacts to onsite wastewater. The lead researcher is currently out of the country working on a separate research assignment.

- Wastewater Infrastructure Tipping Points: Prioritizing Implementation of Climate Adaptation Plans in Decentralized Systems

This project is being led by North Carolina Sea Grant and faculty from ECU. The project is researching the relationship between climate change/adaptation, groundwater, and onsite decentralized wastewater systems.

- Climate Change Adaptation in a Coupled Geomorphic-Economic Coastal System

This project is being led by UNC-Wilmington, UNC, Duke, and Ohio State. There have been no recent updates.

Upcoming Meetings and Other Dates

- Thursday, August 27 - Farmers' Market
- Monday, August 31 - P&D Staff Meeting
- Tuesday, September 1 - Technical Review Committee Meeting
- Wednesday, September 2 - Board of Commissioners Meeting
- Thursday, September 3 - Extended Farmers' Market Day - tentative
- Wednesday, September 9 - Arts & Culture Committee Meeting
- Thursday, September 10 - Board of Adjustment Meeting
- Tuesday, September 15 - Planning Board Meeting
- Tuesday, September 15 - CRS Audit

**TOWN OF NAGS HEAD PLANNING AND DEVELOPMENT
MONTHLY REPORT
JULY 2020**

DATE SUBMITTED: August 7, 2020

	Jul-20	Jul-19	Jun-20	2020-2021 FISCAL YTD	2019-2020 FISCAL YTD	FISCAL YEAR INCREASE/ DECREASE
BUILDING PERMITS ISSUED - RESIDENTIAL						
New Single Family	2	1	0	2	1	1
New Single Family, 3000 sf or >	0	1	0	0	1	(1)
Duplex - New	0	0	0	0	0	0
Sub Total - New Residential	2	2	0	2	2	0
Miscellaneous (Total)	21	16	38	21	16	5
<i>Accessory Structure</i>	3	3	4	3	3	0
<i>Addition</i>	3	0	1	3	0	3
<i>Demolition</i>	0	0	0	0	0	0
<i>Move</i>	0	0	0	0	0	0
<i>Remodel</i>	5	3	6	5	3	2
<i>Repair</i>	10	10	27	10	10	0
Total Residential	23	18	38	23	18	5
BUILDING PERMITS ISSUED - COMMERCIAL						
Multi-Family - New	0	0	0	0	0	0
Motel/Hotel - New	0	0	0	0	0	0
Business/Govt/Other - New	0	0	0	0	0	0
Subtotal - New Commercial	0	0	0	0	0	0
Miscellaneous (Total)	9	5	2	9	5	4
<i>Accessory Structure</i>	6	3	2	6	3	3
<i>Addition</i>	0	0	0	0	0	0
<i>Demolition</i>	1	1	0	1	1	0
<i>Move</i>	0	0	0	0	0	0
<i>Remodel</i>	0	1	0	0	1	(1)
<i>Repair</i>	2	0	0	2	0	2
Total Commercial	9	5	2	9	5	4
Grand Total	32	23	40	32	23	9
SUB-CONTRACTOR PERMITS						
Electrical	28	49	39	28	49	(21)
Gas	3	2	2	3	2	1
Mechanical	43	43	59	43	43	0
Plumbing	6	9	8	6	9	(3)
Sprinkler	0	0	2	0	0	0
VALUE						
New Single Family	\$686,336	\$175,000	\$0	\$686,336	\$175,000	\$511,336
New Single Family, 3000 sf or >	\$0	\$700,000	\$0	\$0	\$700,000	(\$700,000)
Duplex - New	\$0	\$0	\$0	\$0	\$0	\$0
Misc (Total Residential)	\$617,281	\$355,569	\$547,315	\$617,281	\$355,569	\$261,712
Sub Total Residential	\$1,303,617	\$1,230,569	\$547,315	\$1,303,617	\$1,230,569	\$73,048
Multi-Family - New	\$0	\$0	\$0	\$0	\$0	\$0
Motel/Hotel - New	\$0	\$0	\$0	\$0	\$0	\$0
Business/Govt/Other - New	\$0	\$0	\$0	\$0	\$0	\$0
Misc (Total Commercial)	\$111,700	\$62,875	\$5,340	\$111,700	\$62,875	\$48,825
Sub Total Commercial	\$111,700	\$62,875	\$5,340	\$111,700	\$62,875	\$48,825
Grand Total	\$1,415,317	\$1,293,444	\$552,655	\$1,415,317	\$1,293,444	\$121,873

**TOWN OF NAGS HEAD PLANNING AND DEVELOPMENT
MONTHLY REPORT
JULY 2020**

DATE SUBMITTED: August 7, 2020

	Jul-20	Jul-19	Jun-20	2020-2021 FISCAL YTD	2019-2020 FISCAL YTD	FISCAL YEAR INCREASE/ DECREASE
ZONING						
Zoning Permits	26	21	17	26	21	5
CAMA						
CAMA LPO Permits	2	3	0	2	3	(1)
CAMA LPO Exemptions	5	5	8	5	5	0
Sand Relocations	0	N/A	0	0	N/A	N/A
CODE COMPLIANCE						
CCO Inspections	82	157	75	82	157	(75)
Cases Investigated	51	78	53	51	78	(27)
Warnings	11	10	7	11	10	1
NOVs Issued	40	68	41	40	68	(28)
Civil Citations (#)	0	0	0	0	0	0
Civil Citations (\$)	\$0	\$0	\$0	\$0	\$0	\$0
SEPTIC HEALTH						
Tanks inspected	0	64	8	0	64	(64)
Tanks pumped	4	5	4	4	5	(1)
Water quality sites tested	0	46	92	0	46	(46)
Personnel Hours in Training/School	15	0	6	15	0	15



Michael D. Zehner, Director of Planning & Development

COMMENTS: